

# EXAMPLE

Zoning Allowance & Project Summary											
City of Aspen Model Zoning Submission											
Proposed Development	Single Family   Remodel/Addition										
Parcel #	123456789012										
Zone District	R-15A										
Setbacks	Existing	Allowed (Principal)	Allowed (Accessory)	Proposed (Principal)	Proposed (Accessory)	Reference					
Front	14 ft	25 ft	30 ft	14 ft	N/A	26.710.060					
Rear	10 ft	10 ft	5 ft	10 ft	N/A	26.710.060					
Combined Front/Rear	N/A	N/A	N/A	N/A	N/A	26.710.060					
Side	10 ft	10 ft	10 ft	10 ft	N/A	26.710.060					
Combined Side	N/A	N/A	N/A	N/A	N/A	26.710.060					
Distance between Buildings	N/A	10 ft	10 ft	N/A	N/A	26.710.060					
Corner Lot	Yes					26.710.060					
Supplemental Breakdown Info	Existing	Required	Proposed		Reference						
Net Leasable/Comm SQ FT	0	Not req'd for residential	N/A		26.575.020.I.						
Open Space %	0	Not req'd for R-15A	N/A		26.710.060						
Site Coverage	0	Not req'd for R-15A	N/A		26.710.060						
On-Site Parking	0	2	3		26.515.030						
Example of Site Coverage	Existing		Proposed		Reference						
Gross Lot Area (sq ft)	6,001		6,001		Z-007						
Area of Building Footprint (sq ft)	897		1,689		Z-007						
Site Coverage %	14.9%		28.1%		26.575.020.G.						
Transferable Development Right (TDR)											
Received TDR Certificate	No										
Sent TDR Certificate	No										
Transferred TDR Certificate	No										
Land Value Summary	Actual Value				Reference						
Land	\$2,240,000				Pitkin County Assessor						
Improvements	\$142,400				Pitkin County Assessor						
Total	\$2,382,400				Pitkin County Assessor						

Net Lot Area	
City of Aspen Model Zoning Submission	
Zone District Requirements	
Min. Gross Lot Area (per R-15A)	3,000 sq ft (historic landmark properties)
Min. Net Lot Area (per R-15A)	3,000 sq ft (historic landmark properties)
Lot Size Per Survey	
6,001 sq ft	Reference
Reductions for area with slopes 0%-20% (100% of parcel area to be included in Net Lot Area)	4,537 sq ft
Reductions for area with slopes 20%-30% (50% of parcel area to be included in Net Lot Area)	236 sq ft / 2 = 118 sq ft
Reductions for area with slopes greater than 30% (0% of parcel area to be included in Net Lot Area)	136 sq ft + 1,092 sq ft = 1,228 sq ft
Total Area Reductions	6,001 sf - 118 sq ft - 1,228 sq ft = 4,655 sf
Net Lot Area	4,655 sf

Allowable Floor Area	
City of Aspen Model Zoning Submission	
Allowable Floor Area	Per R-15A, for Net Lot Area between 3,000-9,000 sq ft; 2,400 sq ft plus 28 sq ft for each additional 100 sq ft in Net Lot Area, up to max 4,080 sq ft floor area
	26.710.060
Unique Approvals	Allowable Floor Area adjusted per Unique Approvals
	Reference
6,001 sq ft Net Lot Area per Subdivision Exemption Plat for 114 Neale/17 Queen Historic Lot Split	Subdivision Exemption Plat
1,345 sq ft maximum floor area pursuant to Subdivision Exemption Plat for 114 Neale/17 Queen-Historic Lot Split, plus the potential for 500 sq ft floor area bonus granted by HPC	Subdivision Exemption Plat
400 sq ft additional FAR approved at HPC Conceptual Review	Z-003 HPC Res. #8-2013
Variances	6 feet front yard variance for subgrade space approved at HPC Conceptual Review
	Reference
Garage Exemption	First 250 sq ft exempt Next 251-500 sq ft to exclude 50% of area
	26.575.020.D.7. Z-012
Deck Exemption	261.75 sq ft exempt (Allowable floor area 1,745 sq ft x 15%)
	26.575.020.D.4. Z-013
Floor Area Summary	Existing Gross (Sq Ft) Existing Floor Area (Sq Ft) Proposed Gross (Sq Ft) Proposed Floor Area (Sq Ft) Reference
Subgrade Level	0.00 0.00 1,702.75 38.33
Lower Level	881.25 237.10 1,195.75 375.10
Garage (located on Lower Level)	0.00 0.00 488.00 37.33
Main Level	776.75 776.75 958.00 958.00
Deck Area	0.00 0.00 529.25 285.50
ADU	0.00 0.00 0.00 0.00
<b>TOTAL</b>	<b>1,658.00</b> <b>1,013.85</b> <b>4,873.75</b> <b>1,694.26</b> <b>Z-013</b>

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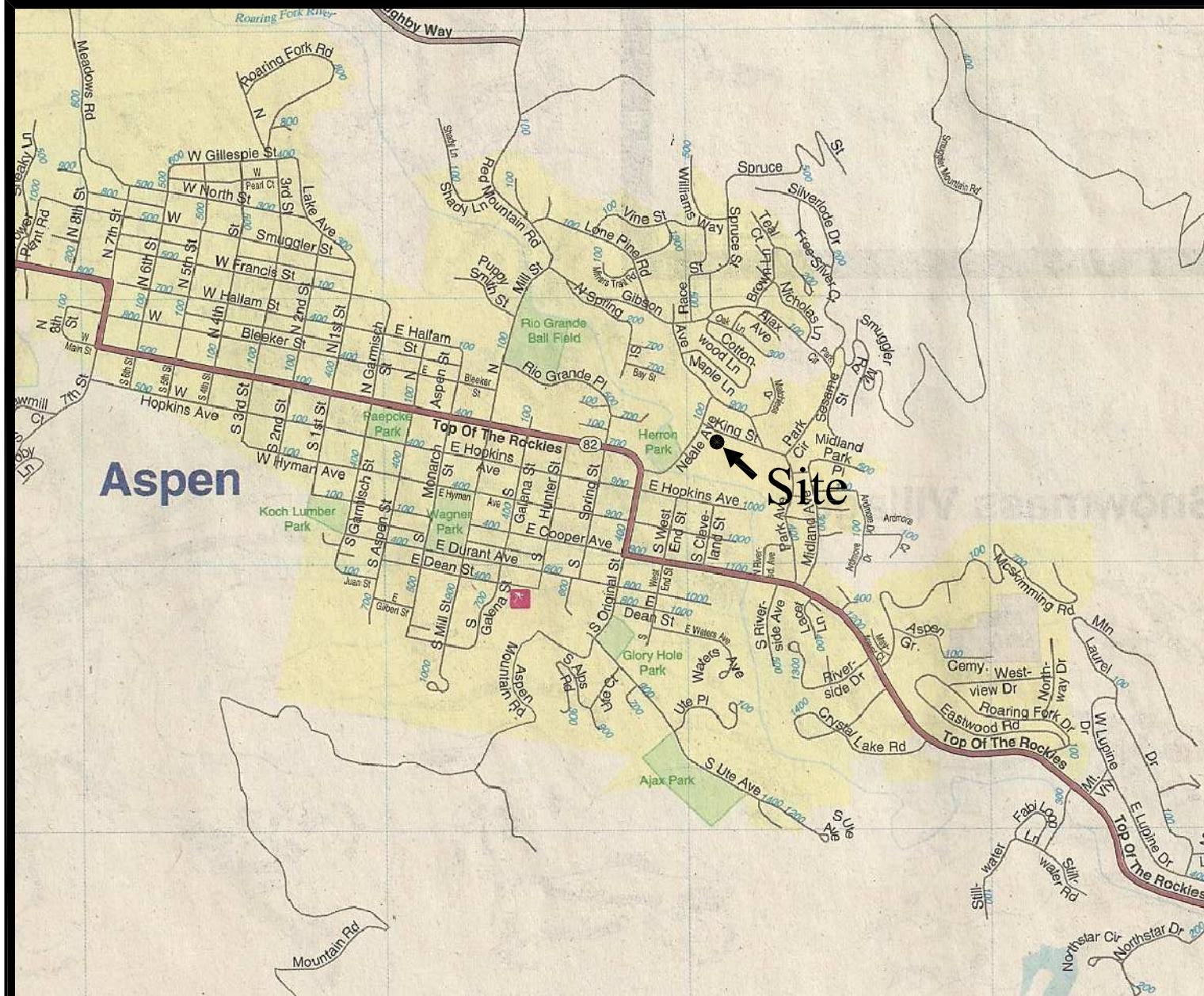
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ZONING SUMMARY

**Monumented Land and Improvement Survey**  
of  
**Legal Description**



# Vicinity Map

(no scale)

### Legend of Symbols:

- Survey monuments found or set as described
- ◆ Street light
- ↙ Street sign or electric meter as described
- ◆ Telephone riser
-  Rock wall
-  Irrigation control valve
-  Water shut-off valve
-  Fire hydrant
-  Water valve
- Sanitary sewer cleanout
- (S) Sanitary sewer manhole
-  Electric manhole
- 0"  0' Coniferous tree and trunk size in inches and spread in feet
- 0"  0' Aspen tree and trunk size in inches and spread in feet
- 0"  0' Deciduous tree and trunk size in inches and spread in feet
-  Coniferous shrub

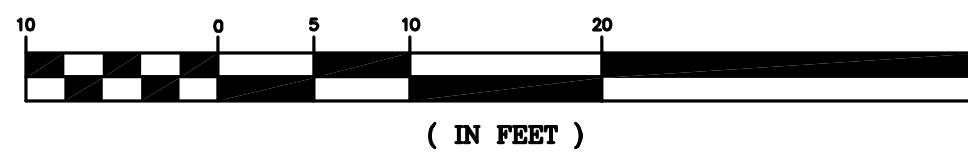
SURVEY TO BE UPDATED  
PFR 26 575 020-1

### Buried Utility Line(s)

- S — Sanitary sewer
- W — Potable water
- P — Telephone
- E — Electric
- G — Natural gas
- C — Cable TV
- F — Fiber optic



## GRAPHIC SCALE

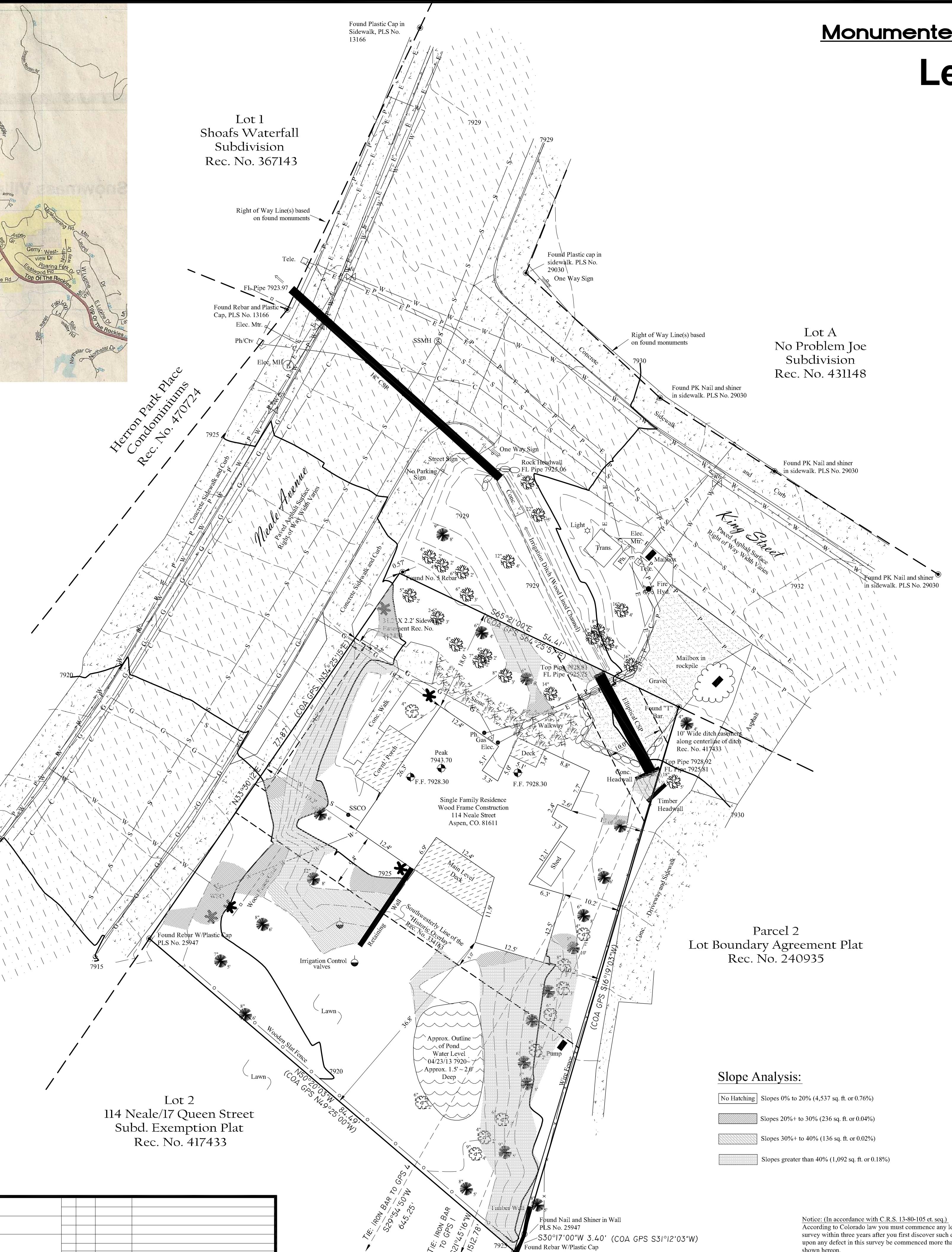


1 inch = 10 ft.

All Linear Dimensions Shown Hereon are in ft  
Contour Interval is 1.0' Vertical

Elevation datum is NAVD 88 and is based upon an elevation of 7911.98 for ngs monument Q-158, a brass cap in concrete at the Southwesterly corner of the Pitkin County Courthouse lawn

Lot 2  
114 Neale/17 Queen Street  
Subd. Exemption Plat  
Rec. No. 417433



Parcel 2  
Lot Boundary Agreement Plat  
Rec. No. 240035

## Slope Analysis:

No Hatching	Slopes 0% to 20% (4,537 sq. ft. or 0.76%)
	Slopes 20%+ to 30% (236 sq. ft. or 0.04%)
	Slopes 30%+ to 40% (136 sq. ft. or 0.02%)
	Slopes greater than 40% (1,092 sq. ft. or 0.18%)

Notice: (In accordance with C.R.S. 13-80-105 et. seq.)  
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. in no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

FLOOD STATEMENT  
ACCORDING TO THE FLOOD INSURANCE RATE MAPS FOR PITKIN COUNTY AS PREPARED BY  
THE FEDERAL EMERGENCY MANAGEMENT AGENCY THE SUBJECT PROPERTY DEPICTED HEREON  
IS NOT DESIGNATED TO LIE WITHIN THE LIMITS OF THE 100 YEAR FLOOD PLAIN AS SHOWN ON  
COMMUNITY PANEL NO. 08097 C0204 C, EFFECTIVE DATE JUNE 4, 1987.

# SurvCo, Inc.

**RTK GPS and Conventional Land Surveying Services**

## EXAMPLE



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SITE PLAN

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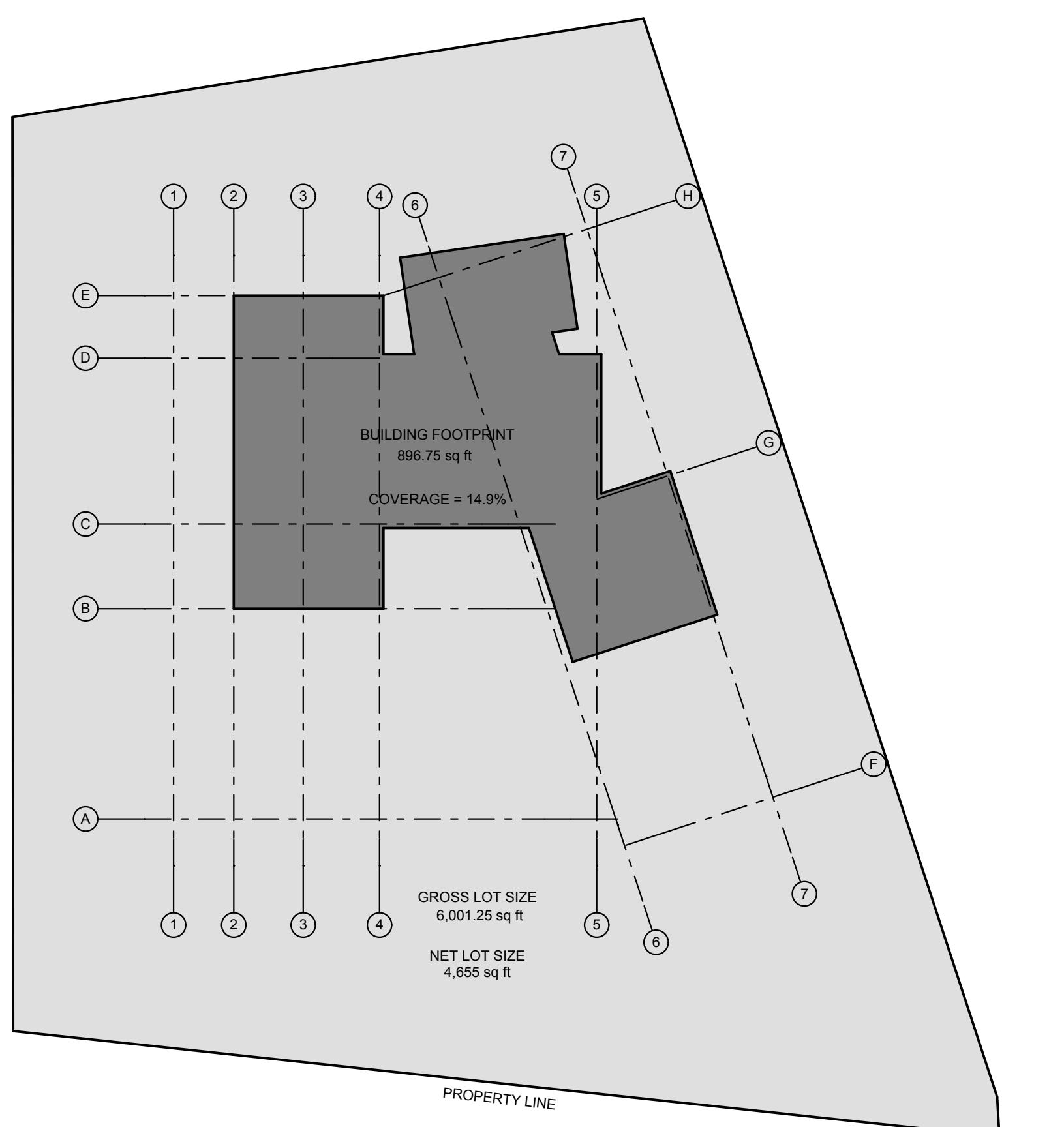
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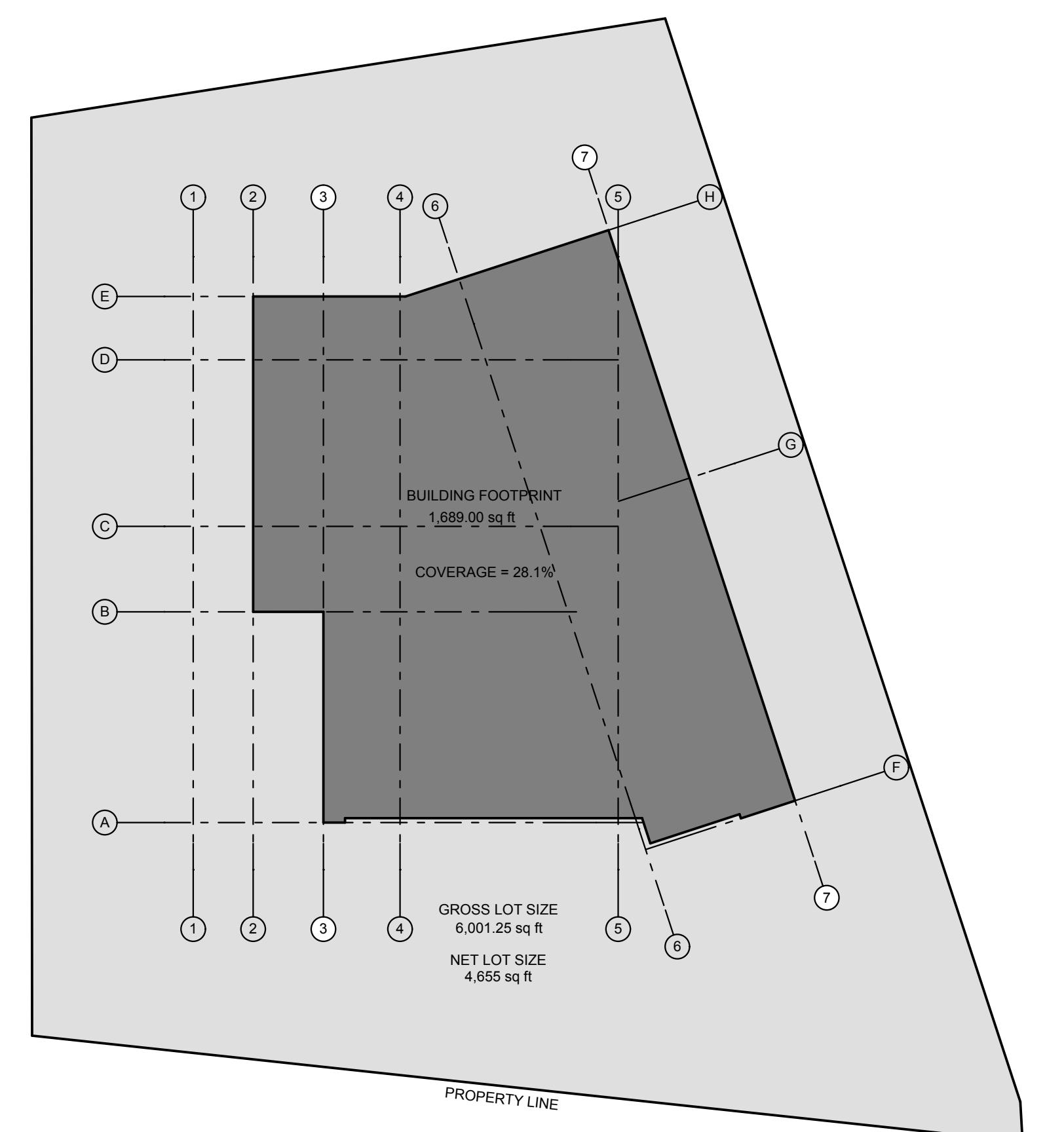
EXAMPLE SITE  
COVERAGE



EXISTING SITE COVERAGE

3/32" = 1'-0"

1 4 8 16 32



PROPOSED SITE COVERAGE

3/32" = 1'-0"

1 4 8 16 32

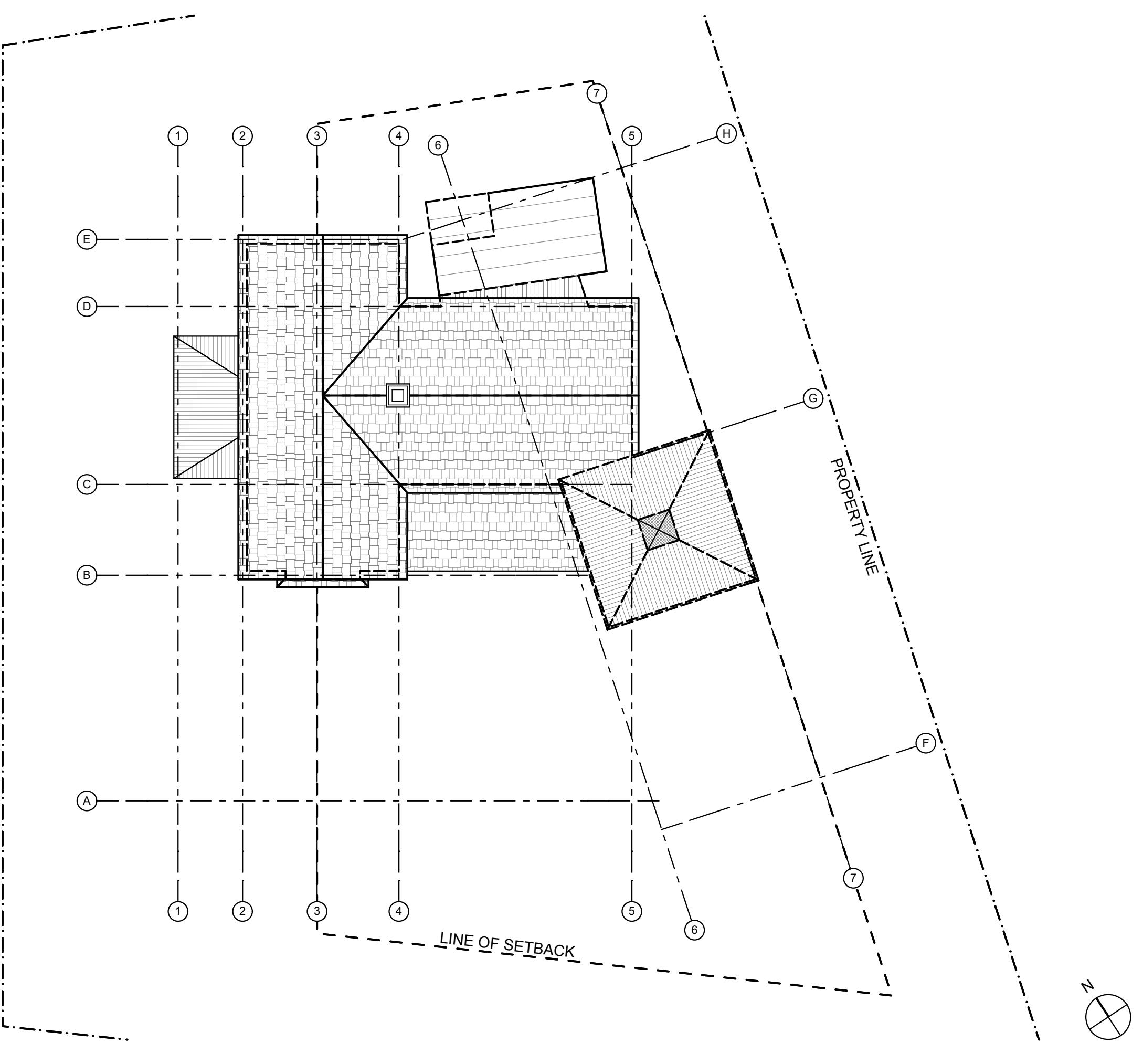
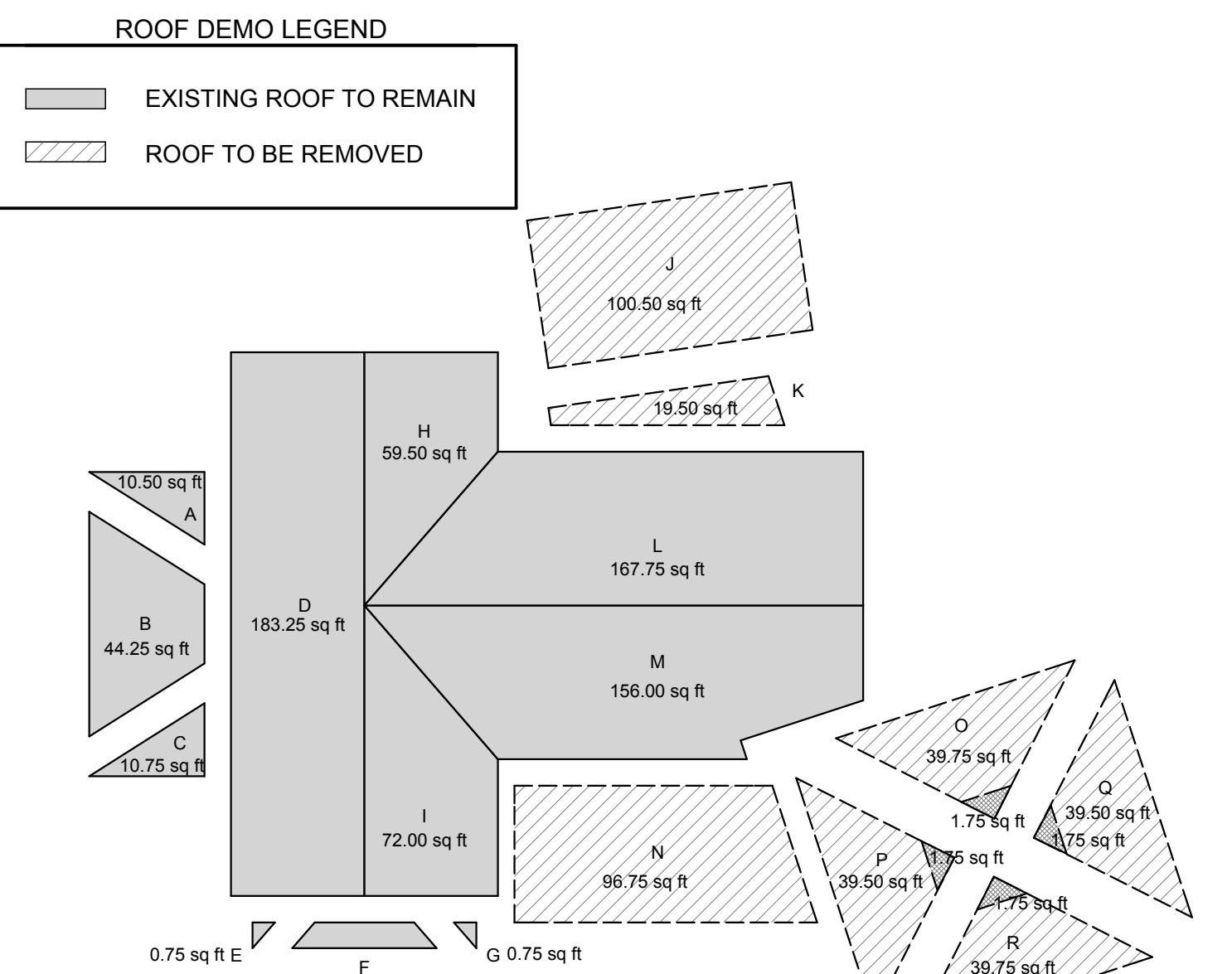
### Demolition Calculations – Ratio Method

City of Aspen Model Zoning Submission

#### Roof Demolition

Roof Label	Individual Roof Area in Plan (Sq Ft)	Roof Slope	Adjustment Factor	Actual Area of Roof Used for Demo Calc (Sq Ft)	Area of Roof to be Removed (Sq Ft)
A	10.50	04:12	1.054	11.07	
B	44.25	02:12	1.014	44.87	
D	10.75	04:12	1.054	11.33	
D	183.25	12:12	1.414	259.12	
E	0.75	06:12	1.118	0.84	
F	8.00	06:12	1.118	8.94	
G	0.75	06:12	1.118	0.84	
H	59.50	12:12	1.414	84.13	
I	72.00	12:12	1.414	101.81	
J	100.50	00:00	1.000	100.50	100.50
K	19.50	00:00	1.000	19.50	19.50
L	167.75	12:12	1.414	237.20	
M	156.00	12:12	1.414	220.58	
N	96.75	02:12	1.014	98.10	98.10
O	39.75	12:12	1.414	56.21	56.21
P	39.50	12:12	1.414	55.85	55.85
Q	39.50	12:12	1.414	55.85	55.85
R	39.75	12:12	1.414	56.21	56.21
Roof Surface Total (Sq Ft)	1,088.75			1422.95	
Roof Surface Area to be Removed (Sq Ft)					442.22
Demolition Totals					
Roof + Wall Area Used for Demo Calculation (Sq Ft)	1,422.95 + 2,003.75			3,426.70	0.00
Surface Area to be Removed (Sq Ft)	1,047.5 + 442.22			0.00	1,489.72
Total				0.00%	43.47%

Notes: Actual area of roof to be removed is calculated by multiplying the plan area by an adjustment factor, in lieu of depicting each roof segment as a flat plane. The adjustment factor is determined by a ratio of the roof slope.



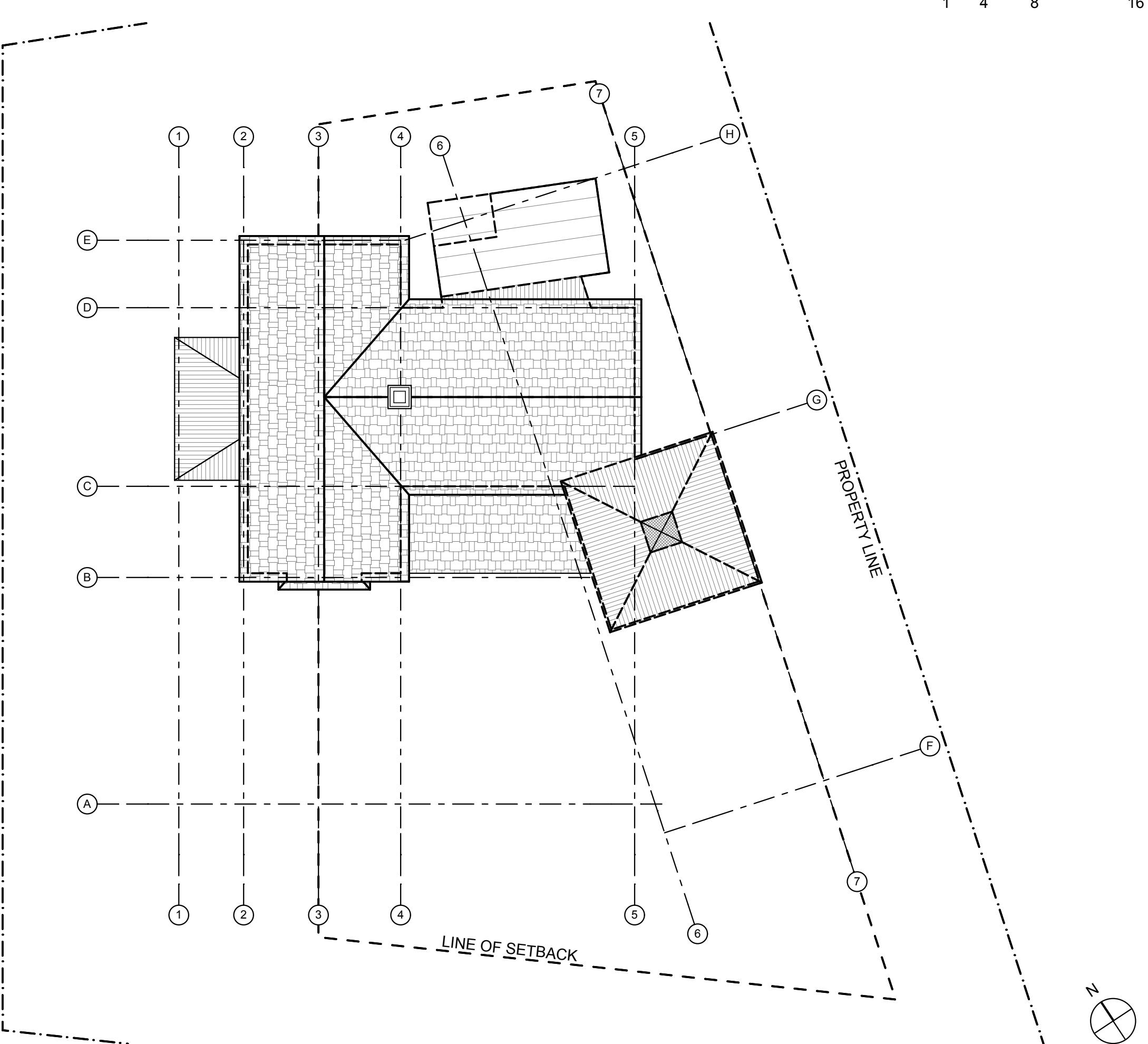
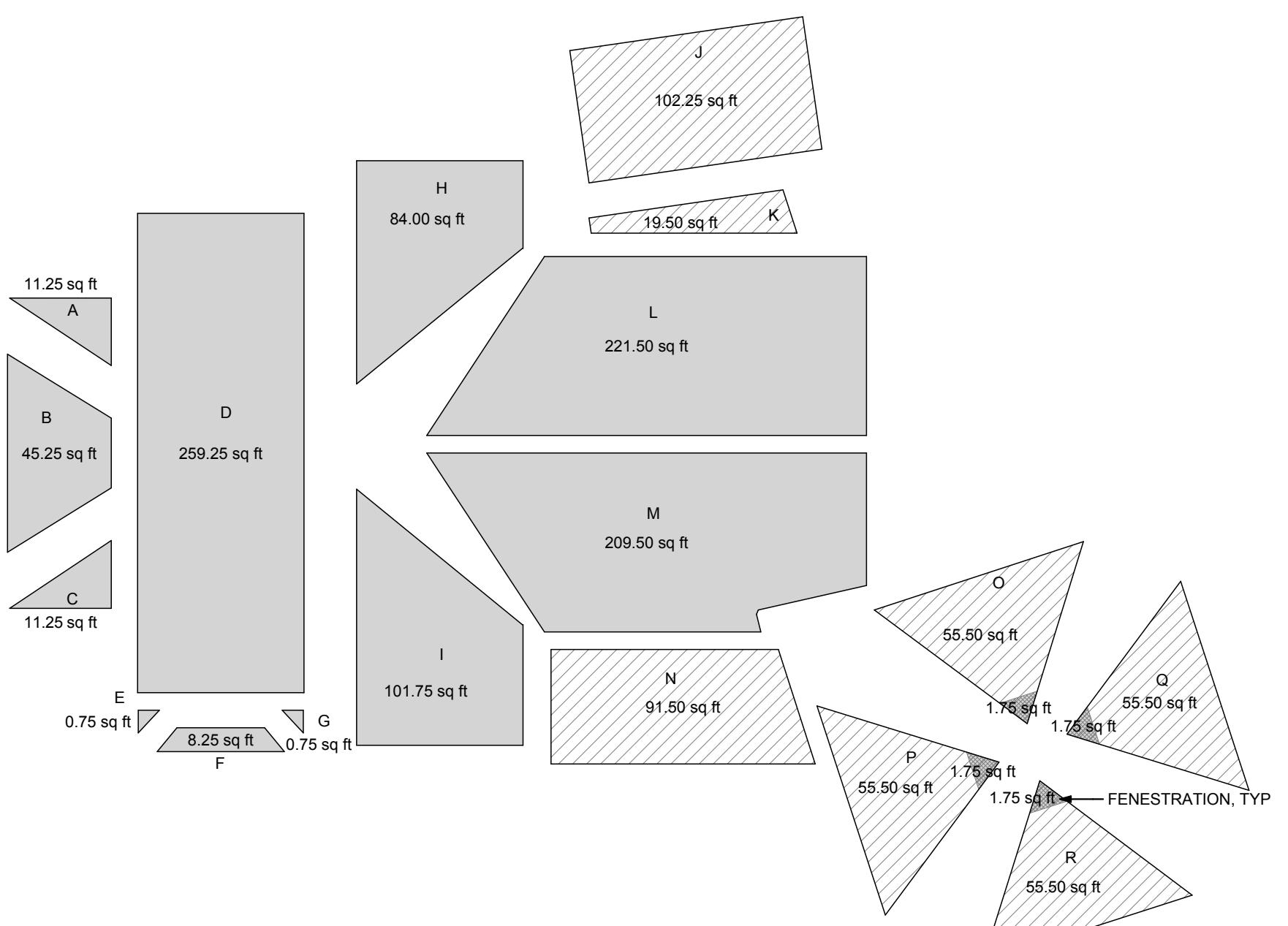
1/8" = 1'-0"  
1 4 8 16

### Demolition Calculations – Flat Plane Method

City of Aspen Model Zoning Submission

#### Roof Demolition

Roof Label	Individual Roof Area (Sq Ft) as Flat Plane	Area of Roof to be Removed (Sq Ft)
A	11.25	
B	45.25	
D	11.25	
D	259.25	
E	0.75	
F	8.25	
G	0.75	
H	84.00	
I	101.75	
J	102.25	102.25
K	19.50	19.50
L	221.50	
M	209.50	
N	91.50	91.50
O	55.50	55.50
P	55.50	55.50
Q	55.50	55.50
R	55.50	55.50
Roof Surface Total (Sq Ft)	1,388.75	
Roof Surface Area to be Removed (Sq Ft)		435.25
Demolition Totals		
Roof + Wall Area Used for Demo Calculation (Sq Ft)	1388.75 + 2,003.75	3,392.50
Surface Area to be Removed (Sq Ft)	1,047.5 + 435.25	1,482.75
Total		43.71%



1/8" = 1'-0"  
1 4 8 16

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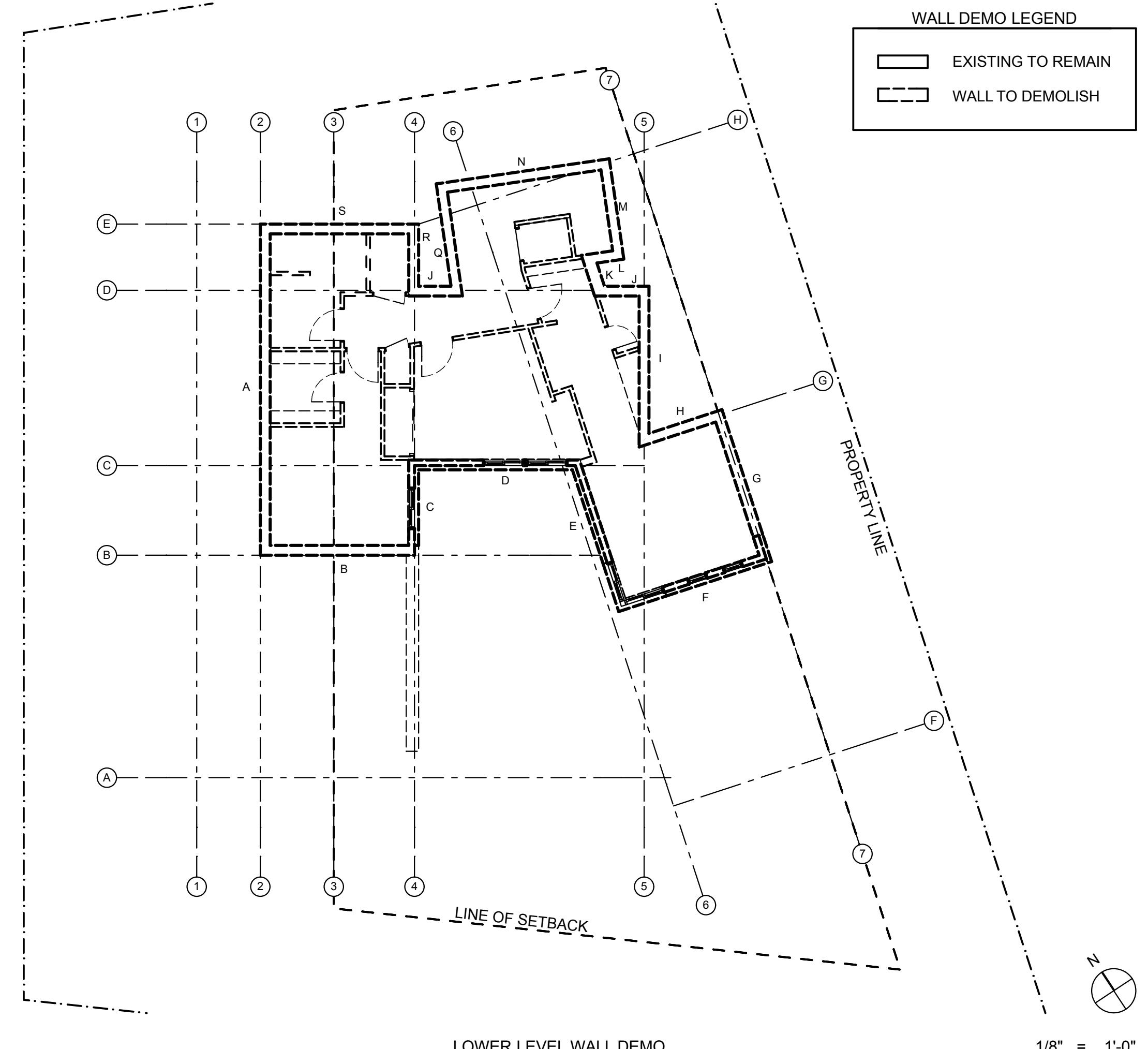
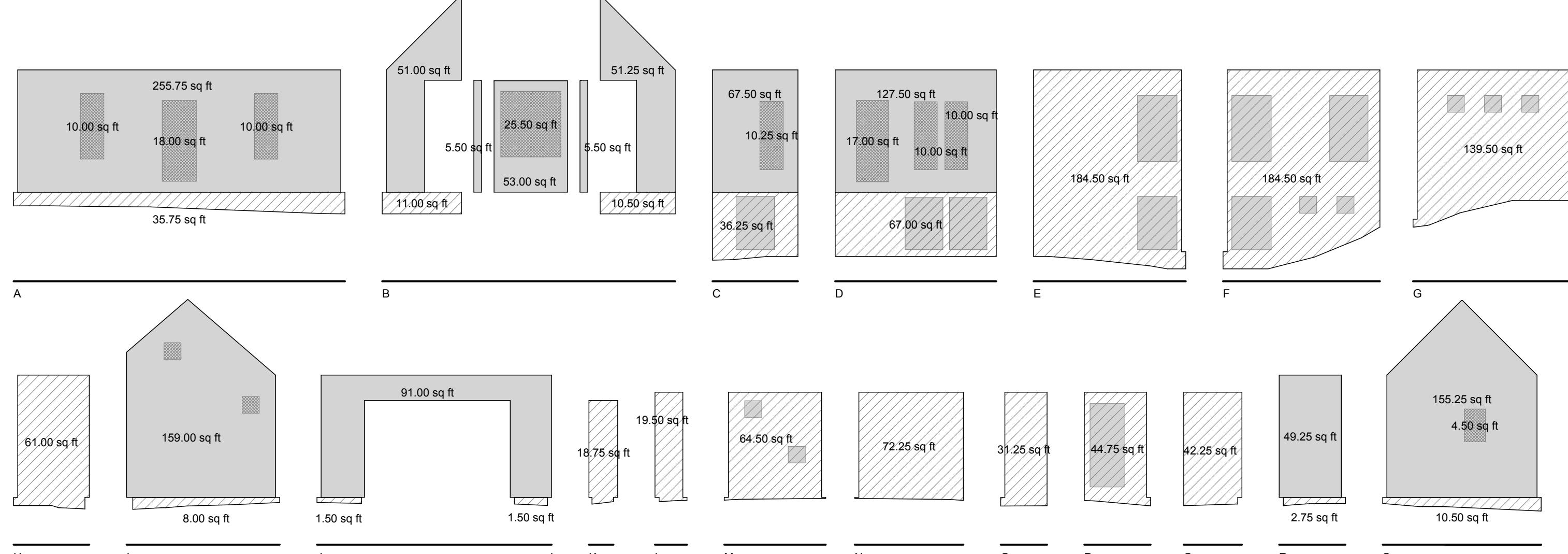
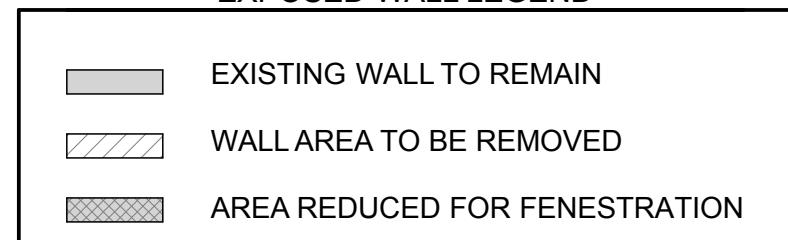
ROOF DEMOLITION  
CALCULATIONS

**Demolition Calculations**  
City of Aspen Model Zoning Submission

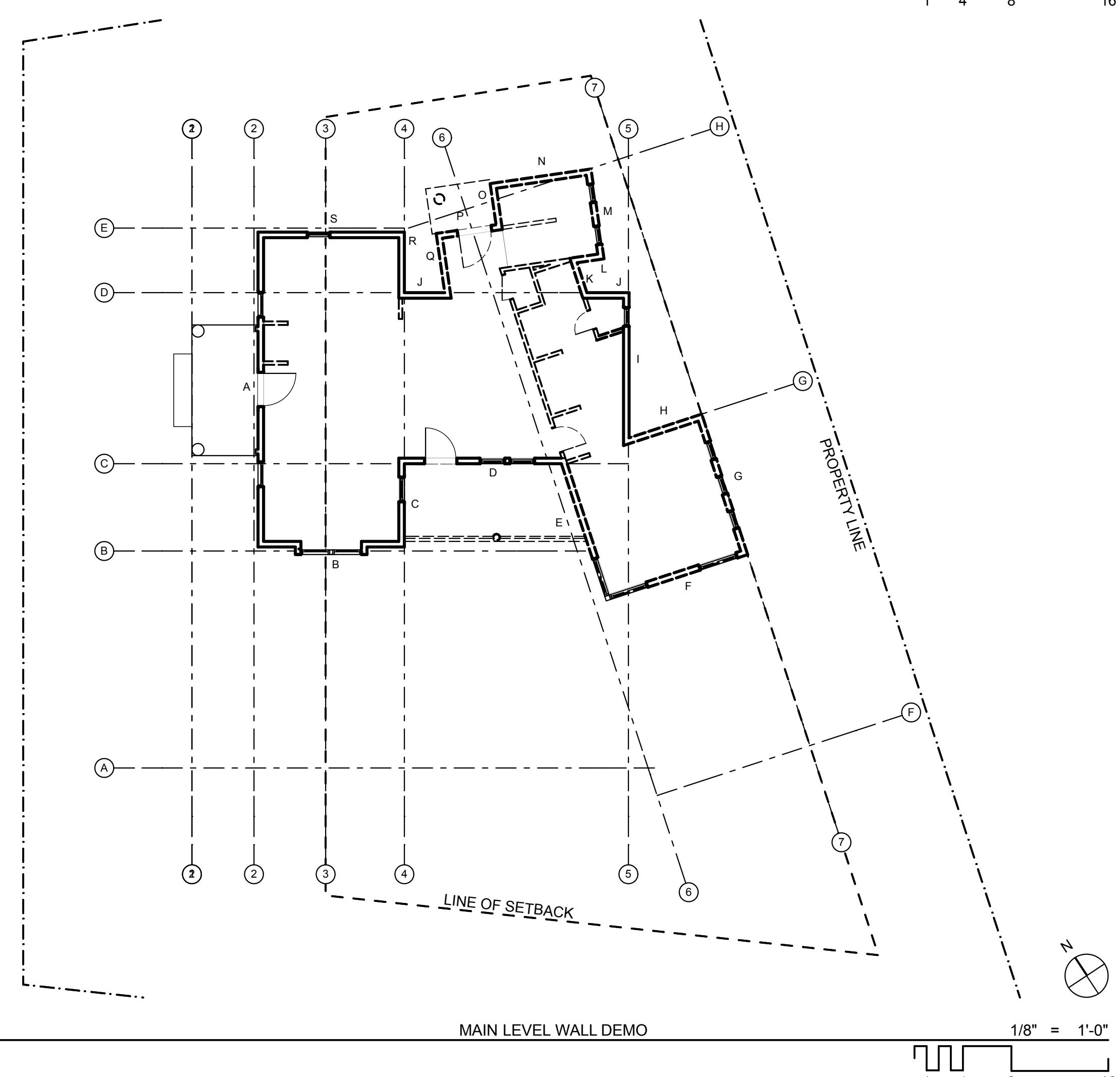
**Wall Demolition**

Wall Label	Individual Wall Area (Sq Ft)	Area Reduced for Fenestration (Sq Ft)	Area of Wall to be Removed (Sq Ft)
A	291.50	38.00	35.75
B	187.75	25.50	21.50
C	103.75	10.25	36.25
D	194.50	37.00	67.00
E	184.50		184.50
F	184.50		184.50
G	139.50		139.50
H	61.00		61.00
I	167.00		8.00
J	94.00		3.00
K	18.75		18.75
L	19.50		19.50
M	64.50		64.50
N	72.25		72.25
O	31.25		31.25
P	44.75		44.75
Q	42.25		42.25
R	52.00		2.75
S	165.75	4.50	10.50
<b>Wall Surface Area Total (Sq Ft)</b>	<b>2,119.00</b>		
<b>Area Reduced for Fenestration (Sq Ft)</b>		<b>115.25</b>	
<b>Area Used for Demo Calculation (Sq Ft)</b>		<b>2,003.75</b>	
<b>Wall Surface Area to be Removed (Sq Ft)</b>			<b>1,047.50</b>
<b>Demolition Totals</b>			
Roof + Wall Area Used for Demo Calculation (Sq Ft)	1388.75 + 2,003.75		3,392.50
Surface Area to be Removed (Sq Ft)	1,047.5 + 435.25		1,482.75
<b>Total</b>			<b>43.71%</b>

**EXPOSED WALL LEGEND**



LOWER LEVEL WALL DEMO



MAIN LEVEL WALL DEMO

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**WALL DEMOLITION  
CALCULATIONS**

### Floor Area Calculations

City of Aspen Model Zoning Submission

#### Existing Main Level Floor Area Calculations

Main Level Gross Floor Area (Sq Ft)	776.75	
Main Level Countable Floor Area (Sq Ft)	776.75	

#### Existing Deck/Porch Floor Area Calculations

Front Porch Gross Floor Area (Sq Ft)	59.00	Exempt per 26.575.020.D.5
Deck Gross Floor Area (Sq Ft)	90.00	Exempt per 15% of allowable
Deck/Porch Countable Floor Area (Sq Ft)	0.00	

#### Total Existing Floor Area Calculations

Subgrade Floor Area (Sq Ft)	0.00	
Lower Level Floor Area (Sq Ft)	237.10	
Main Level Floor Area (Sq Ft)	776.75	
Deck/Porch Floor Area (Sq Ft)	0.00	

Total Existing Floor Area (Sq Ft) **1,013.85**



### Floor Area Calculations

City of Aspen Model Zoning Submission

#### Proposed Main Level Floor Area Calculations

Main Level Gross Floor Area (Sq Ft)	958.00	
Main Level Countable Floor Area (Sq Ft)	958.00	

#### Proposed Deck/Porch Floor Area Calculations

Front Porch Floor Area (Sq Ft)	59.00	Exempt per 26.575.020.D.5
Deck Floor Area (Sq Ft)	529.25	
Structural Steps Floor Area (Sq Ft)	18.00	
Exempt Deck Floor Area (Sq Ft)	261.75	(1,745 allowable x 15%)
Deck/Porch Countable Floor Area (Sq Ft)	285.50	(529.25+18 - 261.75)

#### Total Proposed Floor Area Calculations

Subgrade Floor Area (Sq Ft)	38.33	
Lower Level Floor Area (Sq Ft)	412.43	
Main Level Floor Area (Sq Ft)	958.00	
Deck/Porch Floor Area (Sq Ft)	285.50	

Total Proposed Floor Area (Sq Ft) **1,694.26**



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FLOOR AREA  
CALCULATIONS

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FLOOR AREA  
CALCULATIONS

EXISTING DOES NOT INCLUDE SUBGRADE LEVEL

### Floor Area Calculations

City of Aspen Model Zoning Submission

#### Proposed Subgrade Level Exposed Wall Calculations

Subgrade Level Wall Label	Total Wall Area (Sq Ft)	Exposed Wall Area (Sq Ft)
1	236.00	
2	48.25	
3	169.75	
4	259.00	
5	16.50	
6	109.75	17.75
7	463.25	
8	166.25	
9	109.00	17.75
Overall Total Wall Area (Sq Ft)	1,577.75	
Exposed Wall Area (Sq Ft)		35.50
% of Exposed Wall (Exposed / Total)		2.25%

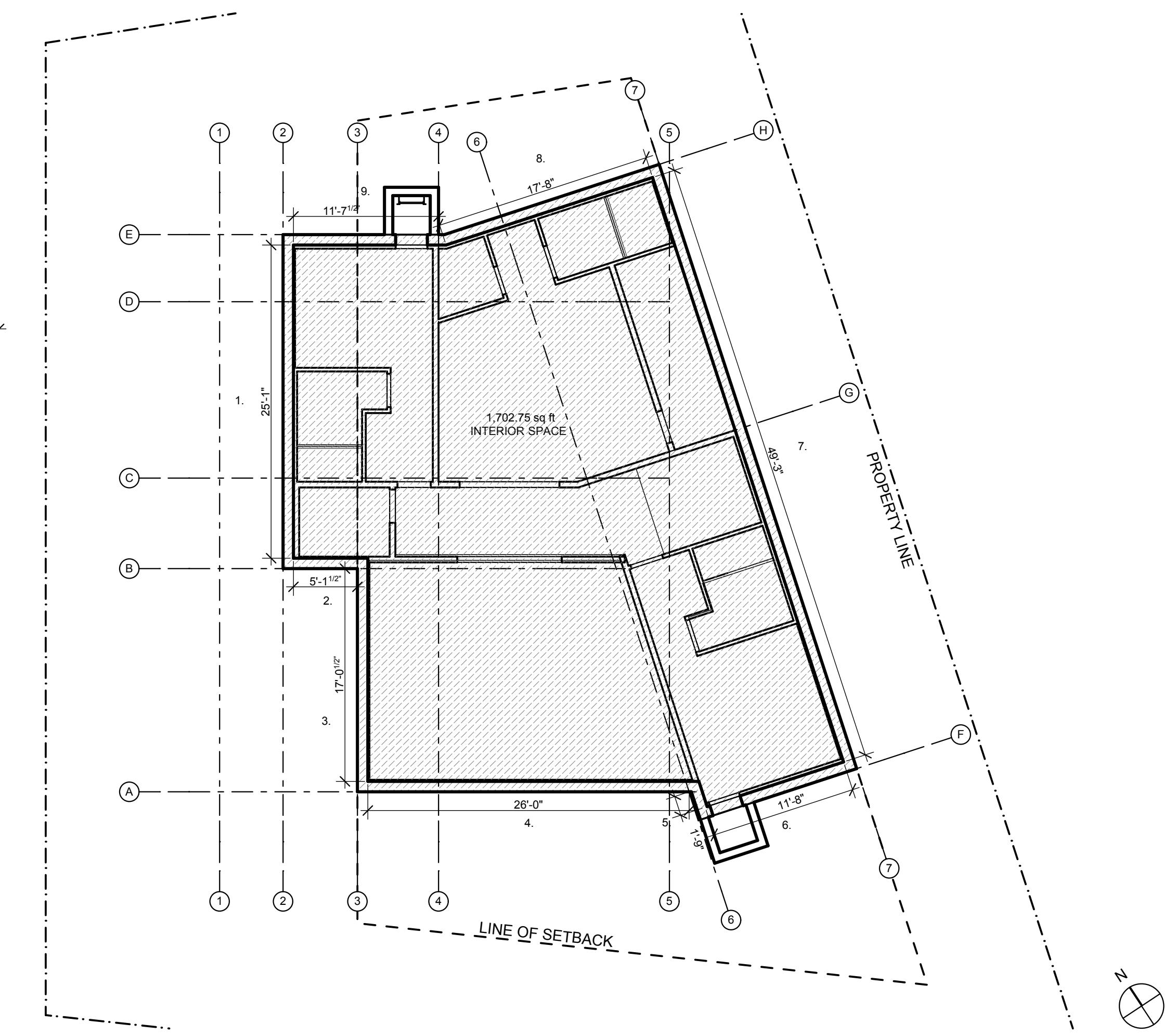
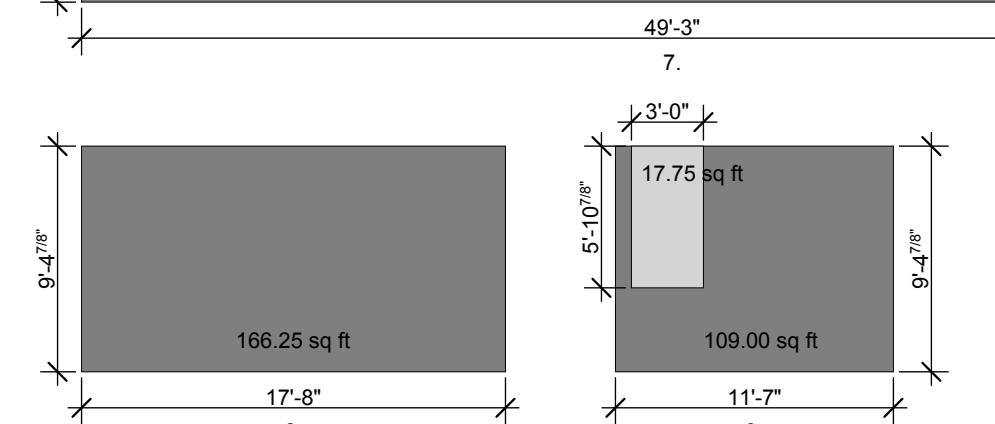
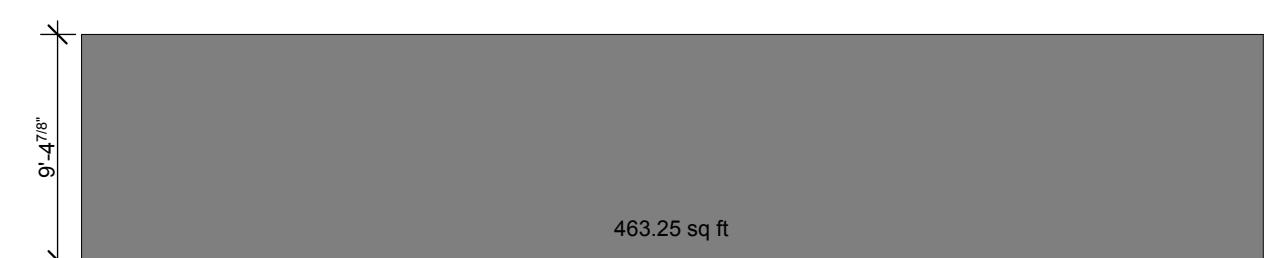
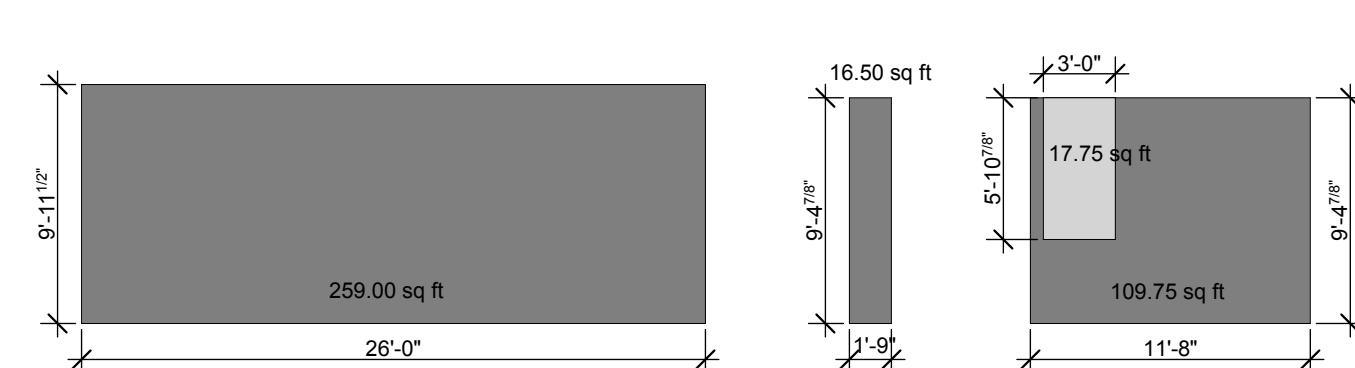
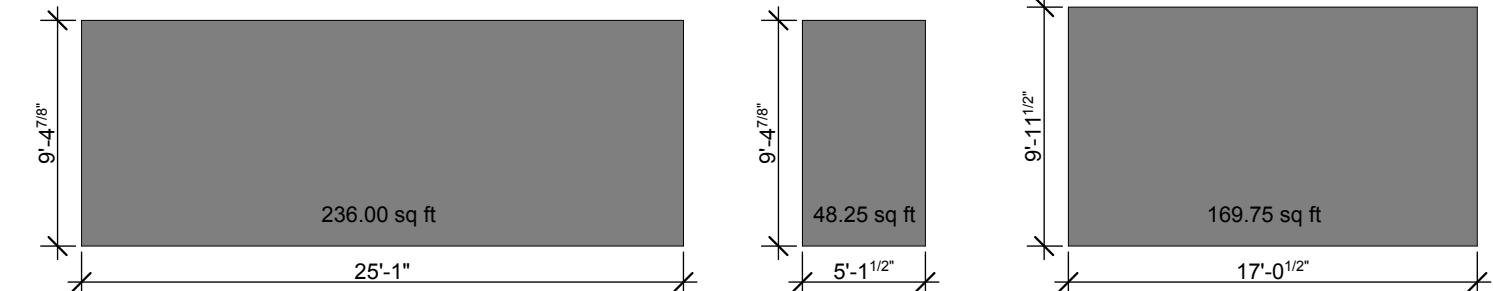
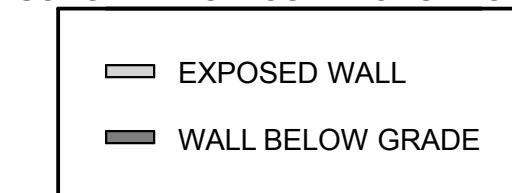
#### Proposed Subgrade Floor Area Calculations

Subgrade Gross Floor Area (Sq Ft)	1,703
Subgrade Countable Floor Area (Sq Ft)	38.33

#### Total Proposed Floor Area Calculations

Subgrade Floor Area (Sq Ft)	38.33
Lower Level Floor Area (Sq Ft)	412.43
Main Level Floor Area (Sq Ft)	958.00
Deck/Porch Floor Area (Sq Ft)	285.50
<b>Total Proposed Floor Area (Sq Ft)</b>	<b>1,694.26</b>

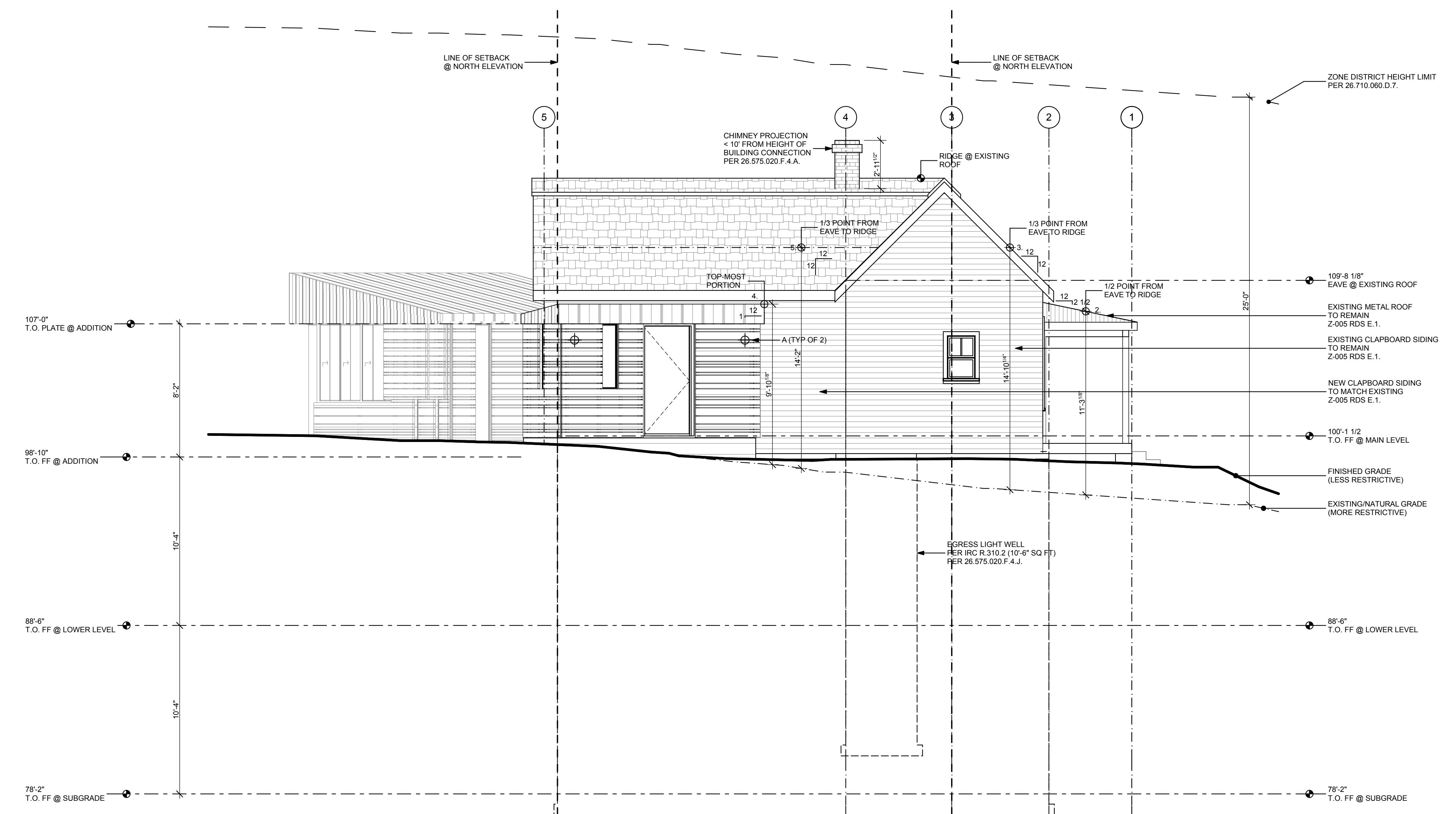
#### SUBGRADE CALCULATIONS LEGEND



PROPOSED SUBGRADE FLOOR AREA

1/8" = 1'-0"  
1 4 8 16

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HEIGHTS

# EXAMPLE

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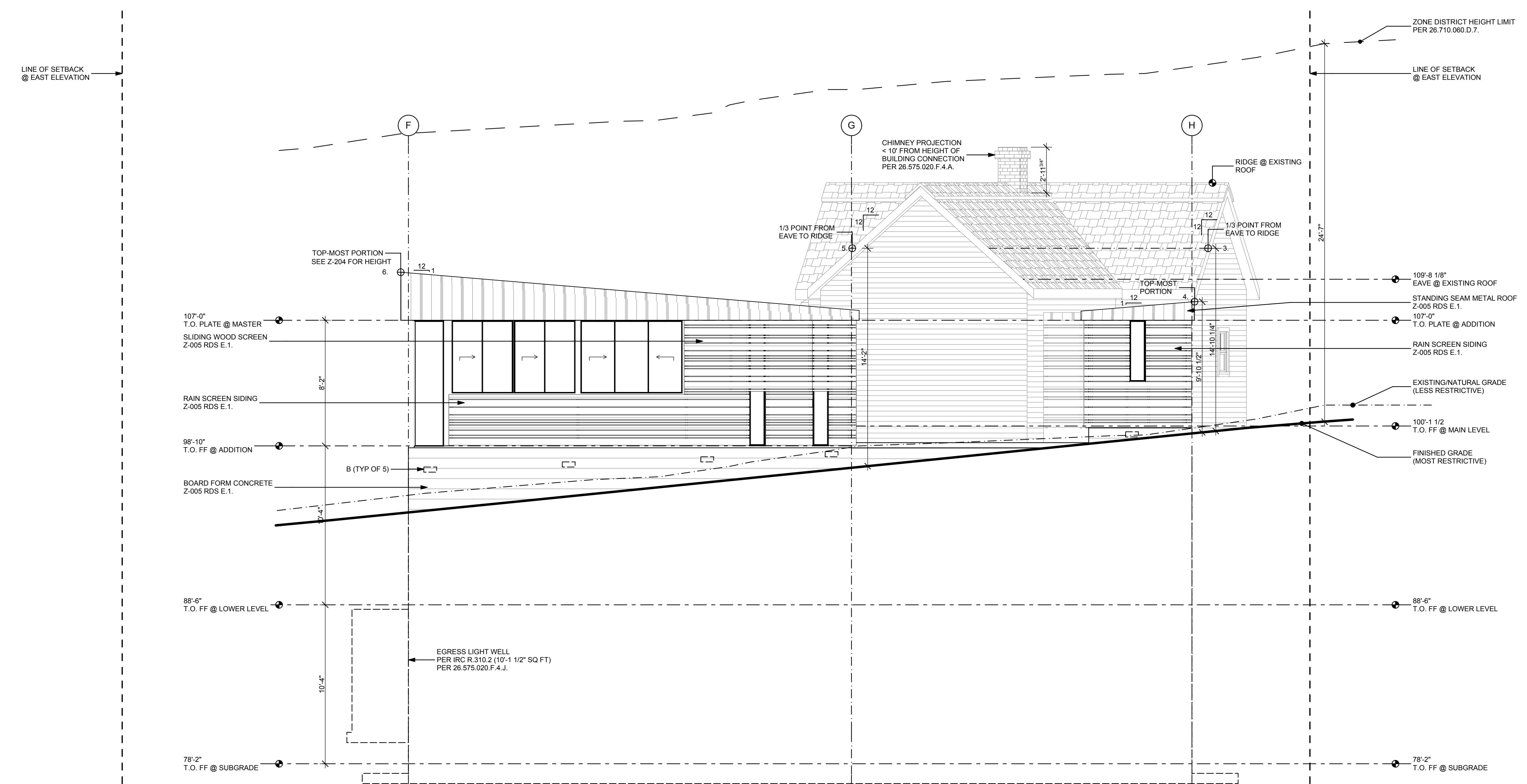
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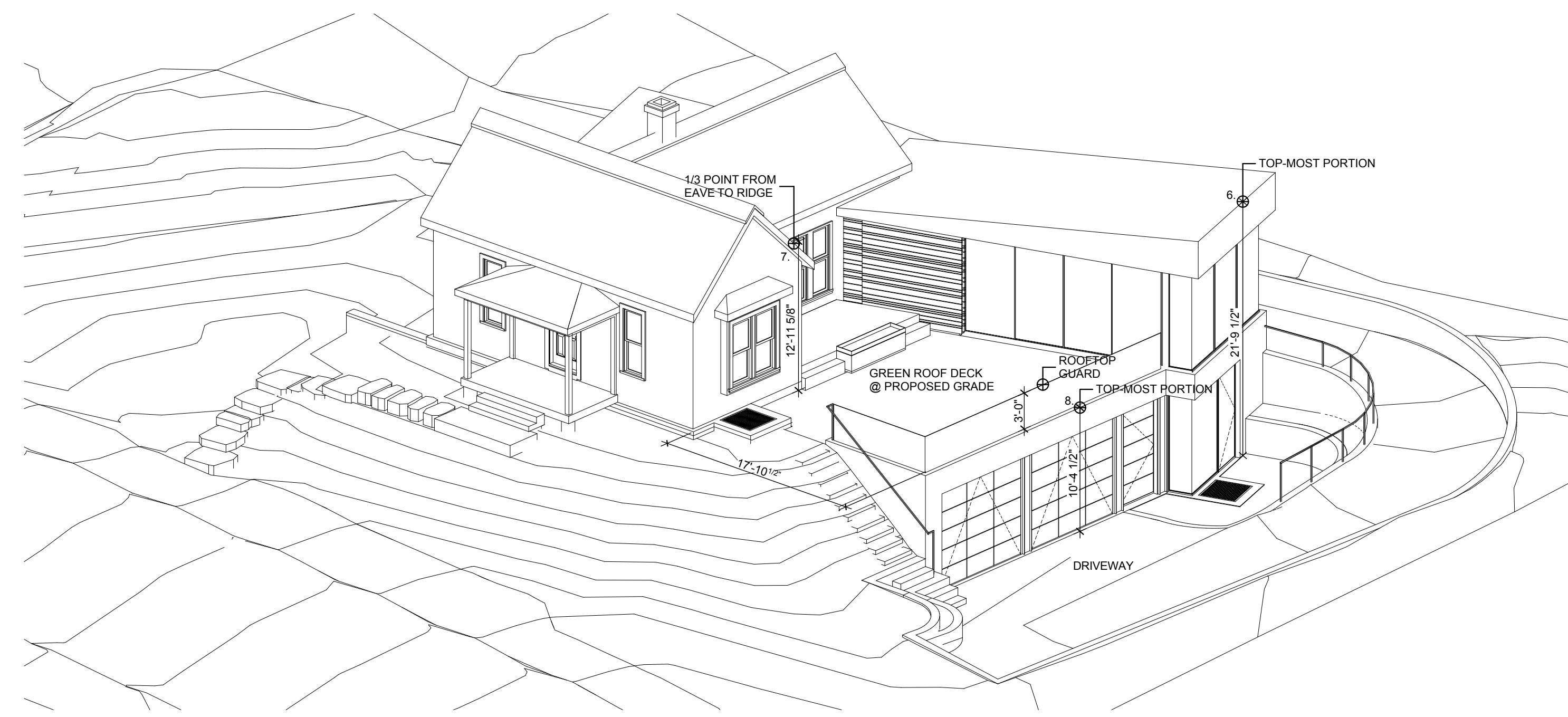
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3D-01

SOUTH HEIGHT VIGNETTE

1/8" = 1'-0"

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—

This architectural cross-section diagram illustrates the building's height and material requirements across different levels and sections. Key features and dimensions include:

- Zone District Height Limit:** PER 26.710.060.D.7.
- Line of Setback @ South Elevation:** Indicated by dashed lines on the top and right sides.
- Ridge @ Existing Roof:** 115'-11 5/8"
- Eave @ Existing:** 109'-8 1/8"
- Existing Clapboard Siding to Remain:** Z-005 R DS E.1.
- Chimney Projection:** < 10' from height of building connection PER 26.575.020.F.4.A. (12'-11 3/4")
- Roof Top Guard:** PER 26.575.020.F.4.D. (12'-11 5/8")
- Top-Most Portion:** Indicated by dashed lines on the right side.
- Standing Seam Metal Roof:** Z-005 RDS E.1.
- Sliding Wood Screen:** Z-005 RDS E.1.
- T.O. Grade @ Green Roof:** 98'-8 1/2"
- Board Form Concrete:** Z-005 RDS E.1.
- Existing/Natural Grade (Less Restrictive):** Indicated by dashed lines on the right side.
- Finished Grade (More Restrictive):** Indicated by dashed lines on the right side.
- Egress Light Well:** PER IRC R.310.2 (10'-1 1/2" SQ FT) PER 26.575.020.F.4.J. (10'-4 1/2")
- Top-Most Portion:** Indicated by dashed lines on the right side.
- A (Typ of 3):** Reference point for the board form concrete.
- T.O. FF @ Lower Level:** 88'-6"
- Line of Setback @ South Elevation:** Indicated by dashed lines on the top and right sides.
- 78'-2" T.O. FF @ Subgrade:** Indicated by dashed lines on the bottom and right sides.

## PROPOSED SOUTH

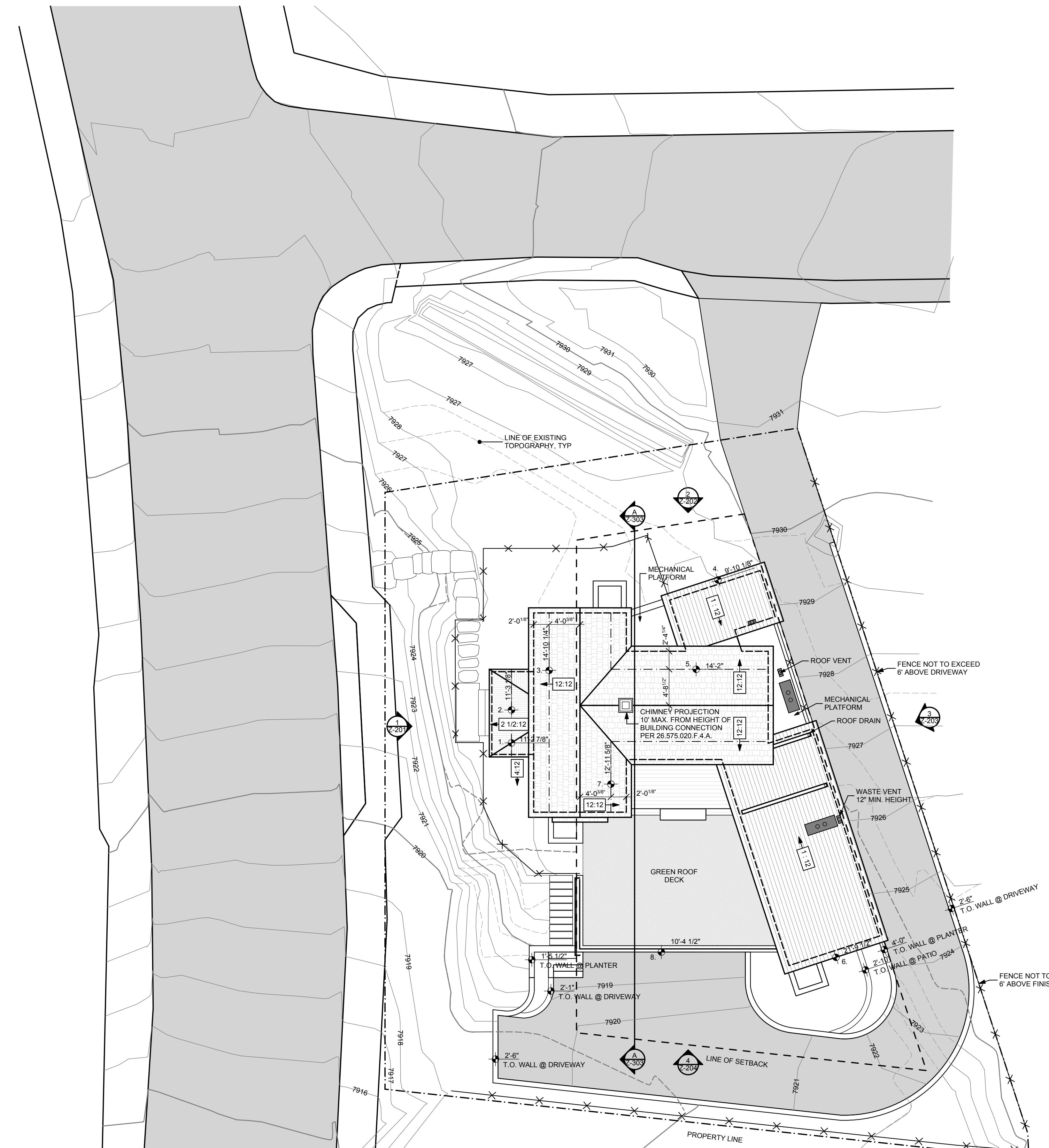
1/4" = 1'-0"

**SHEET TITLE**

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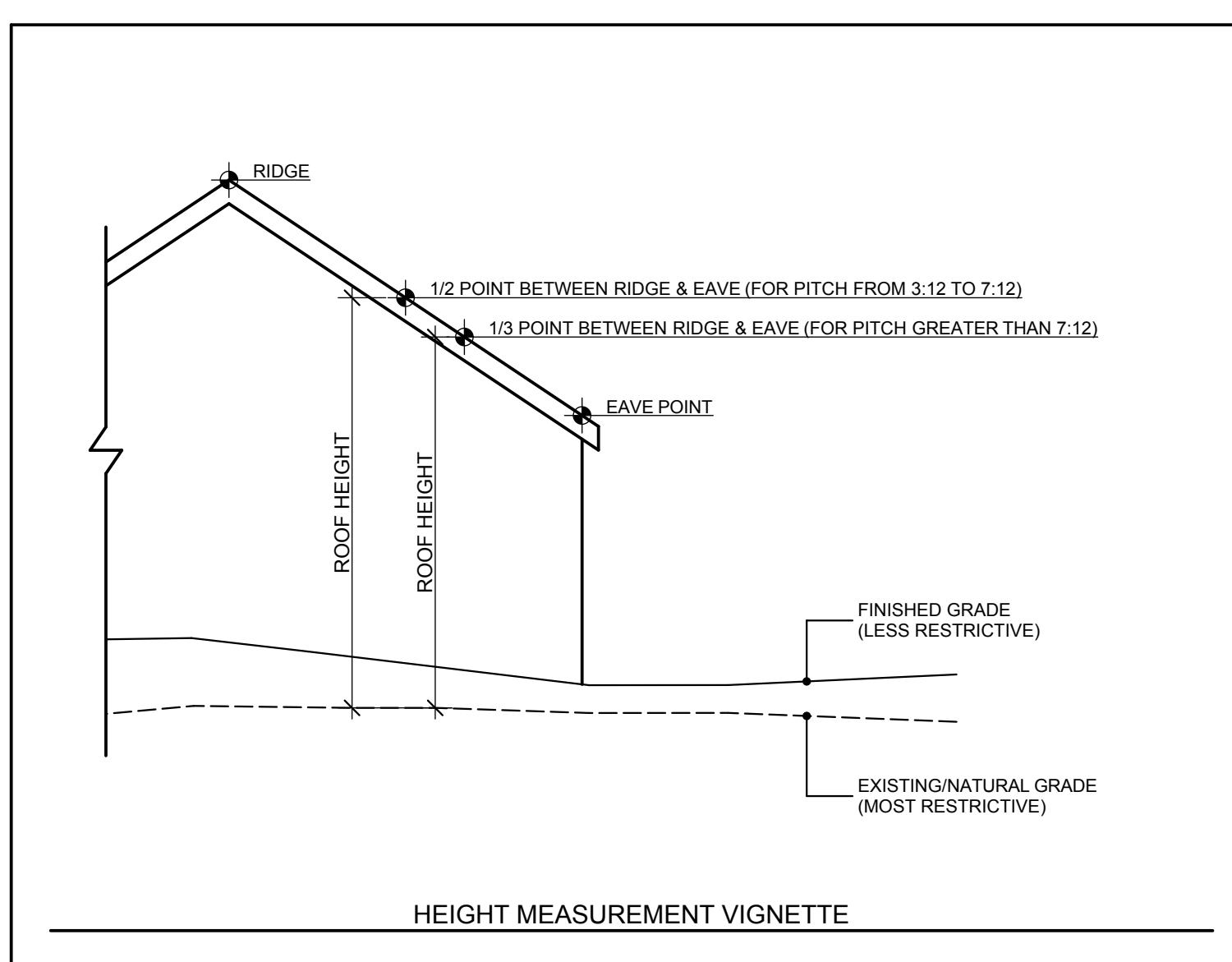
## HEIGHTS

## EXAMPLE



HEIGHT OVER TOPOGRAPHY

Height Over Topography City of Aspen Model Zoning Submission					
Elevation Label	Elevation of Natural Grade	Elevation of Proposed Grade	Most Restrictive	Roof Height over Topography	Actual Roof Height over Most Restrictive
1	7925'	7928'	Natural	7936'-2 7/8"	11'-2 7/8"
2	7925'	7928'	Natural	7936'-3 1/8"	11'-3 1/8"
3	7926'	7928'	Natural	7940'-10 1/4"	14'-10 1/4"
4	7927'	7928'	Natural	7936'-10 1/8"	9'-10 1/8"
5	7927'	7928'	Natural	7942'-2"	14'-2"
6	7920'	7919'	Proposed	7940'-9 1/2"	21'-9 1/2"
7	7925'	7928'	Natural	7937'-11 5/8"	12'-11 5/8"
8	7925'	7919'	Proposed	7929'-4 1/2"	10'-4 1/2"



1/8" = 1'-0"  
1 4 8 16

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HEIGHT OVER  
TOPOGRAPHY

# EXAMPLE

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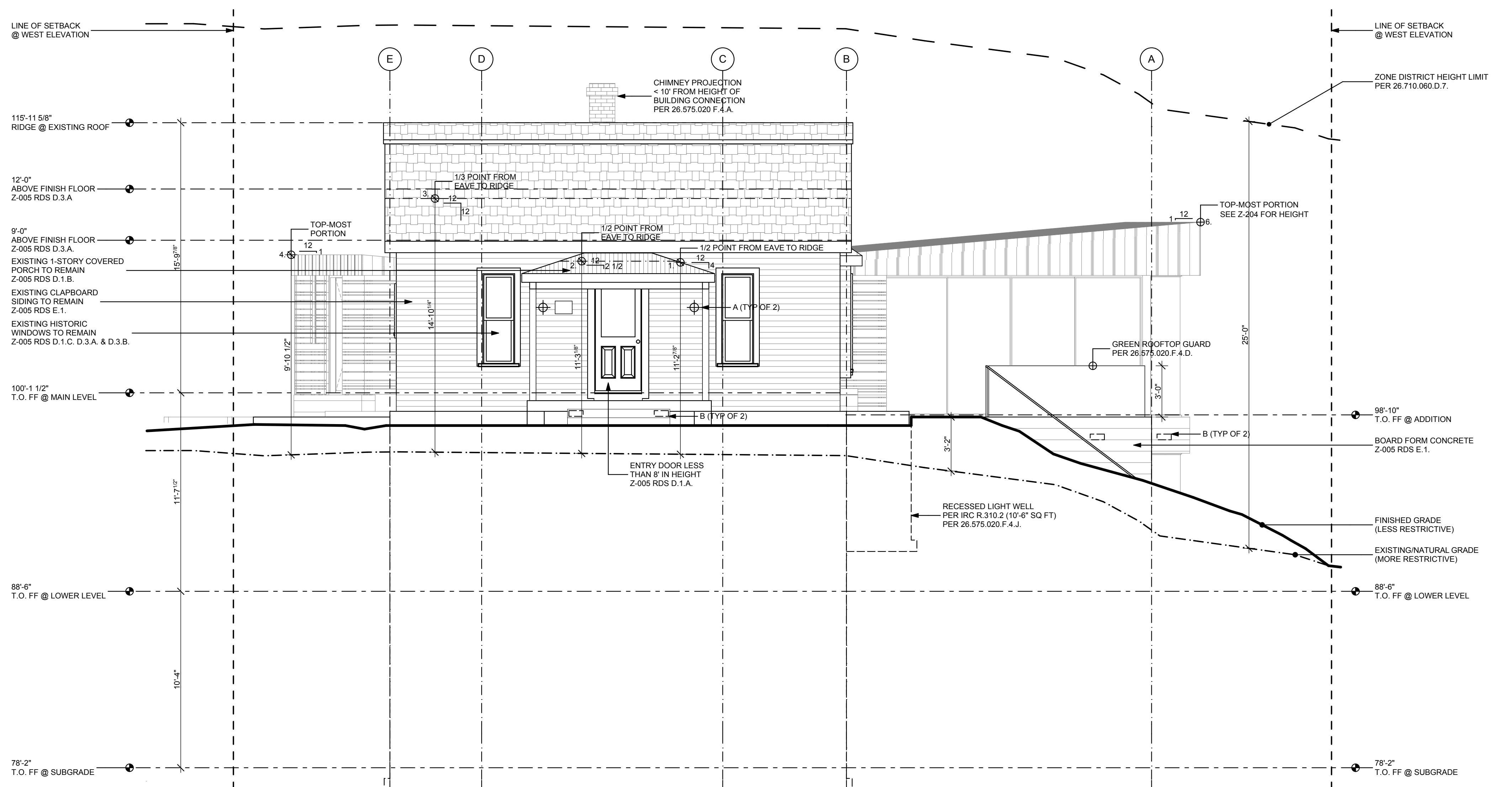
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## HEIGHTS

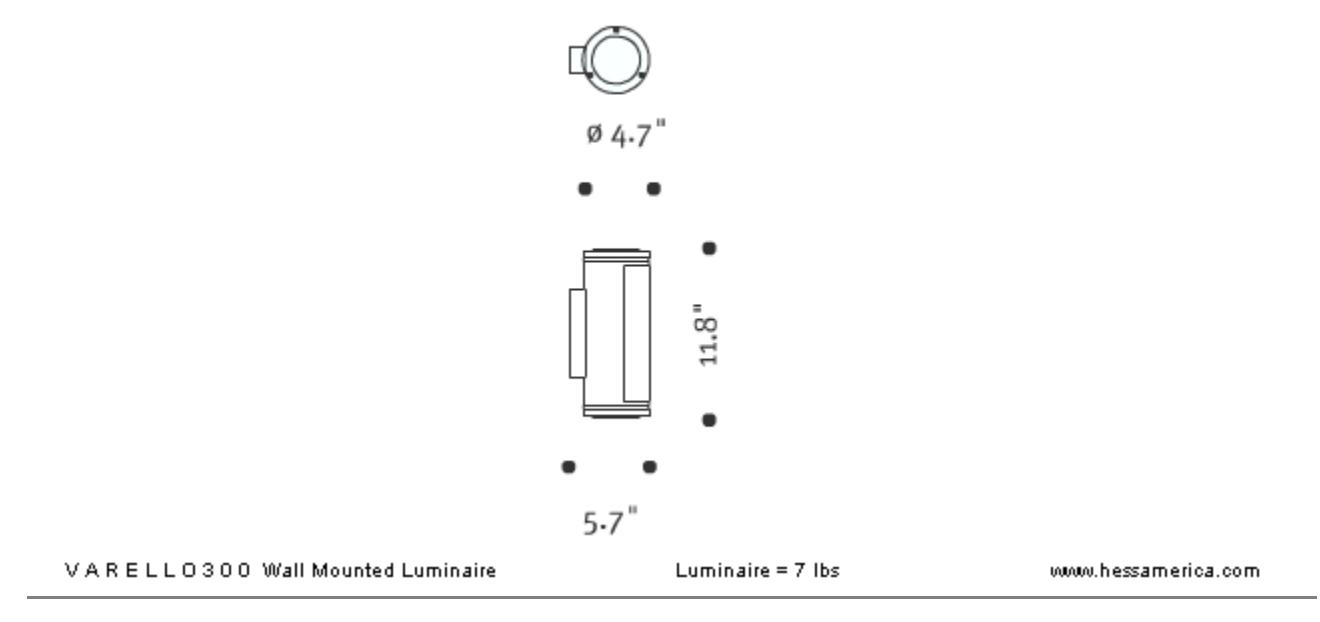


PROPOSED WEST

1/4" = 1' 0"

A step function graph on a coordinate plane. The x-axis is labeled with 1, 4, 8, and 16. The y-axis has a tick mark at the top. The function starts at y=1, steps up to y=2 at x=1, steps down to y=1 at x=4, steps up to y=3 at x=8, and remains at y=3 for x > 8.

## A WALL-MOUNTED LUMINAIRE



V A R E L L O 3 0 0 Wall Mounted Luminaire Luminaire = 7 lbs www.hessamerica.com

Type	Model	Watt	Lamp	Volt	Mounting	Finish	Option
VL300		13	CF - Compact	2 - 120	W - Wall Mount	SG - Silver Grey N - None	30K - 3000K
		18	Fluorescent	7 - 277		CC - Custom Color	35K - 3500K

**Ordering Information**

Comment:

Specifications are subject to change without notification  
 HessAmerica . P.O. Box 28 . Gaffney, SC 29342 . Phone: 864-487-3535 . Fax: 864-487-3175 . www.hessamerica.com .hess

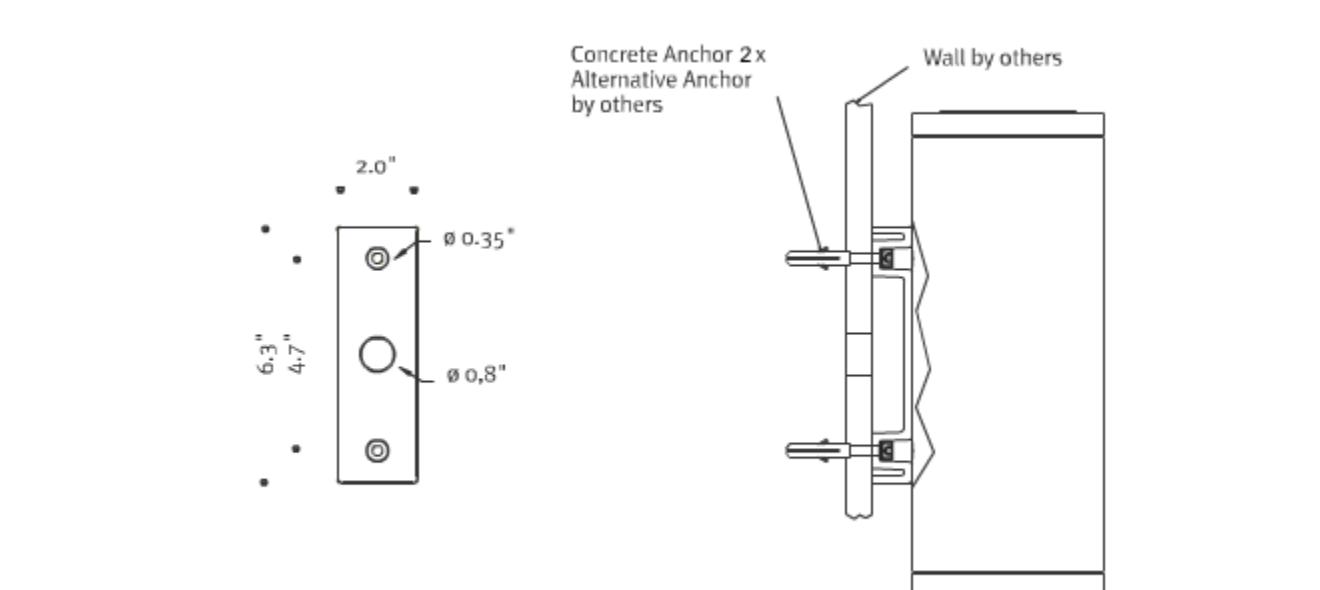
## Specifications

<b>DESCRIPTION</b>	Wall mounted luminaire where contemporary styling is desired.
<b>HOUSING</b>	Cylindrical housing is machined from 6061 aluminum alloy tubing. Semi-cylindrical front lens fits flush to the housing. Matte acrylic lens is sealed to the housing with one-piece closed cell silicone gasket and secured with six captive flathead countersunk screws. Upper and lower lens rings are precision machined from 6060 aluminum and sealed to the housing with one-piece discut closed cell silicone gaskets. Matte acrylic upper and lower lenses are bonded to the lens rings with silicone. Luminaire with cast aluminum bracket mounts to wall surface with factory-supplied wall anchors and hardware. All hardware is stainless steel.
<b>OPTICS</b>	Vertical base down lamp provides soft diffused illumination through front, upper, and lower matte acrylic lenses.
<b>ELECTRICAL</b>	Compact fluorescent high frequency electronic ballast shall be Class P and Outdoor Type 1 rated. Ballast shall have a minimum high power factor rating of 90% and a minimum starting temperature of -20°F (-30°C) at nominal line voltage ±10%. Ballast shall be UL Listed. Lamp sockets are 75W-600V rated.
<b>LAMPING</b>	Wattage: 13 Source: Compact Fluorescent Lamp: PL-C 13W/4P Bulb: PL-C Base: G24q-1 Wattage: 18 Source: Compact Fluorescent Lamp: PL-L 18W/4P Bulb: PL-L Base: GX11

Lamp is included.  
**FINISH** Housing is cleaned ultrasonically prior to painting. Standard finish is finely textured matte silver grey metallic. Special colors available on request.  
**WARRANTY** Limited product warranty period is three years. Lamp and ballasts shall carry the manufacturer's limited warranty.  
**CERTIFICATION** Listed for Wet Locations.

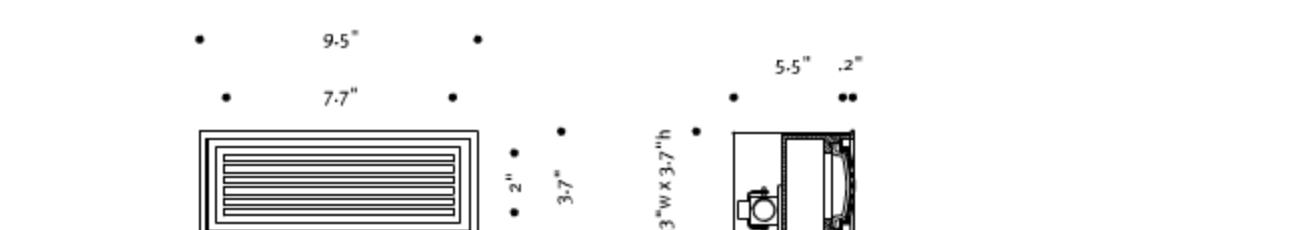
Specifications are subject to change without notification  
 HessAmerica . P.O. Box 28 . Gaffney, SC 29342 . Phone: 864-487-3535 . Fax: 864-487-3175 . www.hessamerica.com .hess

## Specifications



Specifications are subject to change without notification  
 HessAmerica . P.O. Box 28 . Gaffney, SC 29342 . Phone: 864-487-3535 . Fax: 864-487-3175 . www.hessamerica.com .hess

## B &amp; C RECESSED WALL LUMINAIRE



C A N O S G K Recessed Wall Luminaire Luminaire Weight = 7 lbs www.hessamerica.com

Type	Model	Watt	Lamp	Volt	Mounting	Finish	Option
CA230GK	13	CF - Compact Fluorescent	2 - 120	R - Recessed	SG - Silver Grey	30K - 3000K	

**Ordering Information**

Comment:

Specifications are subject to change without notification  
 HessAmerica . P.O. Box 28 . Gaffney, SC 29342 . Phone: 864-487-3535 . Fax: 864-487-3175 . www.hessamerica.com .hess

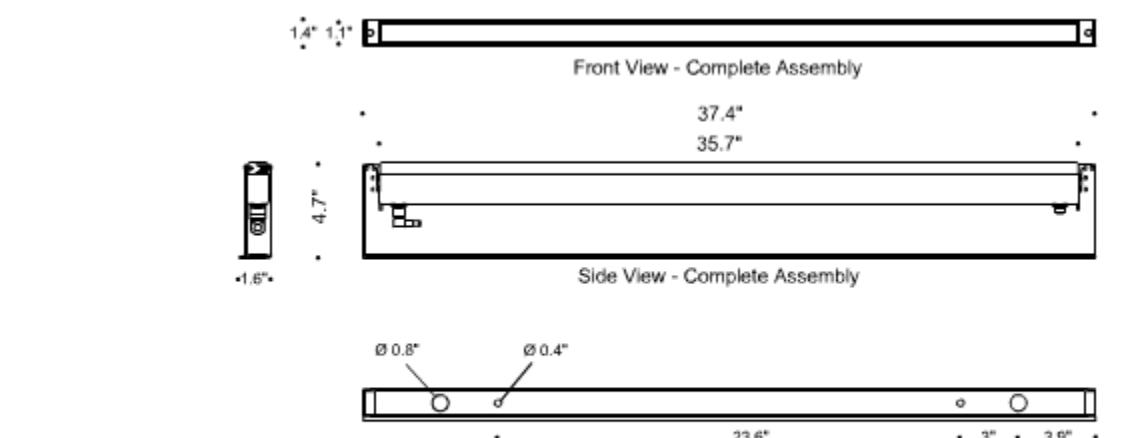
## Specifications

<b>DESCRIPTION</b>	Small recessed luminaire for exterior and interior wall mounted applications where contemporary styling is desired.
<b>HOUSING</b>	Luminaire housing and faceplate are cast aluminum. Faceplate and matte acrylic lens are secured to the housing with four captive socket head cap screws and sealed with one-piece silicone gasket. Interior of housing is finished in white paint. Sealed wiring compartment at rear of housing has access plate to permit power connection to terminal block. Luminaire installs into recessed formed aluminum rough-in housing.
<b>OPTICS</b>	Rough-in housing assembly includes adjustable protective cover to compensate for variations in finished wall thicknesses up to 1.97". Rough-in housing assembly is suitable for through wiring and may be preshipped upon request. All hardware is stainless steel.
<b>ELECTRICAL</b>	Lamp is positioned within housing providing diffused illumination.
<b>LAMPING</b>	Compact fluorescent electromagnetic ballast for 120v operation shall be Class P and Outdoor Type 1 rated. Ballast shall have a minimum high power factor rating of 90% and be capable of reliable starting to 0° F (-18° C) at nominal line voltage. Total harmonic distortion shall be less than 10%. GX23 lamp socket is 75W-600V rated.

Lamp is included. Specify lamp color temperatures of 3000 K, 3500 K, or 4100 K.  
**FINISH** Housing is cleaned ultrasonically prior to painting. Standard finish is finely textured matte silver grey metallic or graphite grey. Special colors available on request.  
**WARRANTY** Limited product warranty period is three years. Lamp and ballasts shall carry the manufacturer's limited warranty.  
**CERTIFICATION** Listed for Wet Locations. Suitable for use in exterior, interior, and poured concrete walls.

Specifications are subject to change without notification  
 HessAmerica . P.O. Box 28 . Gaffney, SC 29342 . Phone: 864-487-3535 . Fax: 864-487-3175 . www.hessamerica.com .hess

## D RECESSED WALL ILLUMINATING STRIP



L E D I A L L 36" LED Illuminating Strip - Recessed Wall Luminare Weight = 18 lbs www.hessamerica.com

Type	Model	Length	Volt	Color	Option
LEDIA-LL-ID/W	36	12 - 12 Volt DC	R - Red	DIM - Dimming Module	N - None

**Ordering Information**

Comment:

Specifications are subject to change without notification  
 HessAmerica . P.O. Box 28 . Gaffney, SC 29342 . Phone: 864-487-3535 . Fax: 864-487-3175 . www.hessamerica.com .hess

## Specifications

<b>DESCRIPTION</b>	LED illuminating strip for recessed wall applications.
<b>HOUSING</b>	Machined tempered glass lens is 0.75" thick and bonded to the stainless steel luminaire housing providing a sealed enclosure. Exterior surface of lens is polished with chamfered edges. Underside of lens is diffused. LED light engine housing is constructed of stainless steel. All internal components are sealed to prevent moisture entry. Luminaire is braced stainless steel end brackets mounted to pre-drilled stainless steel holes where electrical conductors are made and secured in place with two countersunk screws for flush appearance. Recessed frame for rough-in installation may be preshipped upon request.
<b>OPTICS</b>	Low wattage LED's provide even illumination across the entire lens surface.
<b>ELECTRICAL</b>	Remote 60W LED driver is sold separately and may be used to power multiple luminaires. Universal voltage LED driver accepts 100v through 277v, 50/60 Hz input and provides 12v DC to luminaire. Driver shall have a high power factor rating greater than 95%. Maximum power consumption is 71 watts. UL Recognized driver has a minimum start temperature is -25°C (-13°F) and maximum ambient rating of 30°C (100°F).

Luminaire is supplied with pigtail connectors and waterproof wire nuts. Wiring from LED power supply to luminaire and wiring between luminaires shall be supplied by others. Optional dimming module, suitable for dry locations, is available and requires a 10V DC voltage controller (by others). Total power consumption is 10 watts. Colors are available in red, blue, green, amber, warm white (3000K) and white (6500K).  
**LAMPING** NOTE: Due to rapid and continuous advances in LED technology, LED luminaire data is subject to change without notice and at the discretion of HessAmerica. Consult factory for more current technical data.

**WARRANTY** Limited product warranty period is three years. LED driver (ordered separately) and optional dimming module shall carry the respective manufacturer's limited warranty.

**CERTIFICATION** Listed for Wet Locations.

Specifications are subject to change without notification  
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LIGHTING SPECS