

Zoning Allowance & Project Summary City of Aspen Model Zoning Submission						
Proposed Development	Single Family Remodel/Addition					
Parcel #	123456789012					
Zone District	R-15A					
Setbacks	Existing	Allowed (Principal)	Allowed (Accessory)	Proposed (Principal)	Proposed (Accessory)	Reference
Front	14 ft	25 ft	30 ft	14 ft	N/A	26.710.060
Rear	10 ft	10 ft	5 ft	10 ft	N/A	26.710.060
Combined Front/Rear	N/A	N/A	N/A	N/A	N/A	26.710.060
Side	10 ft	10 ft	10 ft	10 ft	N/A	26.710.060
Combined Side	N/A	N/A	N/A	N/A	N/A	26.710.060
Distance between Buildings	N/A	10 ft	10 ft	N/A	N/A	26.710.060
Corner Lot	Yes					26.710.060
Supplemental Breakdown Info	Existing	Required		Proposed		Reference
Net Leasable/Comm SQ FT	0	Not req'd for residential		N/A		26.575.020.I.
Open Space %	0	Not req'd for R-15A		N/A		26.710.060
Site Coverage	0	Not req'd for R-15A		N/A		26.710.060
On-Site Parking	0	2		3		26.515.030
Example of Site Coverage	Existing			Proposed		Reference
Gross Lot Area (sq ft)	6,001			6,001		Z-007
Area of Building Footprint (sq ft)	897			1,689		Z-007
Site Coverage %	14.9%			28.1%		26.575.020.G.
Transferable Development Right (TDR)						
Received TDR Certificate	No					
Sent TDR Certificate	No					
Transferred TDR Certificate	No					
Land Value Summary	Actual Value					Reference
Land	\$2,240,000					Pitkin County Assessor
Improvements	\$142,400					Pitkin County Assessor
Total	\$2,382,400					Pitkin County Assessor

Net Lot Area City of Aspen Model Zoning Submission		
Zone District Requirements		Reference
Min. Gross Lot Area (per R-15A)	3,000 sq ft (historic landmark properties)	26.710.060
Min. Net Lot Area (per R-15A)	3,000 sq ft (historic landmark properties)	26.710.060
Lot Size Per Survey	6,001 sq ft	Reference
Reductions for area with slopes 0%-20% (100% of parcel area to be included in Net Lot Area)	4,537 sq ft	Survey 26.575.020-1
Reductions for area with slopes 20%-30% (50% of parcel area to be included in Net Lot Area)	236 sq ft / 2 = 118 sq ft	Survey 26.575.020-1
Reductions for area with slopes greater than 30% (0% of parcel area to be included in Net Lot Area)	136 sq ft + 1,092 sq ft = 1,228 sq ft	Survey 26.575.020-1
Total Area Reductions	6,001 sf - 118 sq ft - 1,228 sq ft = 4,655 sf	
Net Lot Area	4,655 sf	

Allowable Floor Area City of Aspen Model Zoning Submission					
Allowable Floor Area	Per R-15A: for Net Lot Area between 3,000-9,000 sq ft; 2,400 sq ft plus 28 sq ft for each additional 100 sq ft in Net Lot Area, up to max 4,080 sq ft floor area Allowable Floor Area adjusted per Unique Approvals				Reference 26.710.060
Unique Approvals	6,001 sq ft Net Lot Area per Subdivision Exemption Plat for 114 Neale/17 Queen Historic Lot Split 1,345 sq ft maximum floor area pursuant to Subdivision Exemption Plat for 114 Neale/17 Queen Historic Lot Split, plus the potential for 500 sq ft floor area bonus granted by HPC 400 sq ft additional FAR approved at HPC Conceptual Review				Reference Subdivision Exemption Plat Subdivision Exemption Plat Z-003 HPC Res. #8-2013
Variances	6 feet front yard variance for subgrade space approved at HPC Conceptual Review				Reference Z-003 HPC Res. #8-2013
Exemptions	First 250 sq ft exempt Next 251-500 sq ft to exclude 50% of area 261.75 sq ft exempt (Allowable floor area 1,745 sq ft x 15%)				Reference 26.575.020.D.7. Z-012 26.575.020.D.4. Z-013
Floor Area Summary	Existing Gross (Sq Ft)	Existing Floor Area (Sq Ft)	Proposed Gross (Sq Ft)	Proposed Floor Area (Sq Ft)	Reference
Subgrade Level	0.00	0.00	1,702.75	38.33	Z-011
Lower Level	881.25	237.10	1,195.75	375.10	Z-012
Garage (located on Lower Level)	0.00	0.00	488.00	37.33	Z-012
Main Level	776.75	776.75	958.00	958.00	Z-013
Deck Area	0.00	0.00	529.25	285.50	Z-013
ADU	0.00	0.00	0.00	0.00	N/A
TOTAL	1,658.00	1,013.85	4,873.75	1,694.26	Z-013

EXAMPLE

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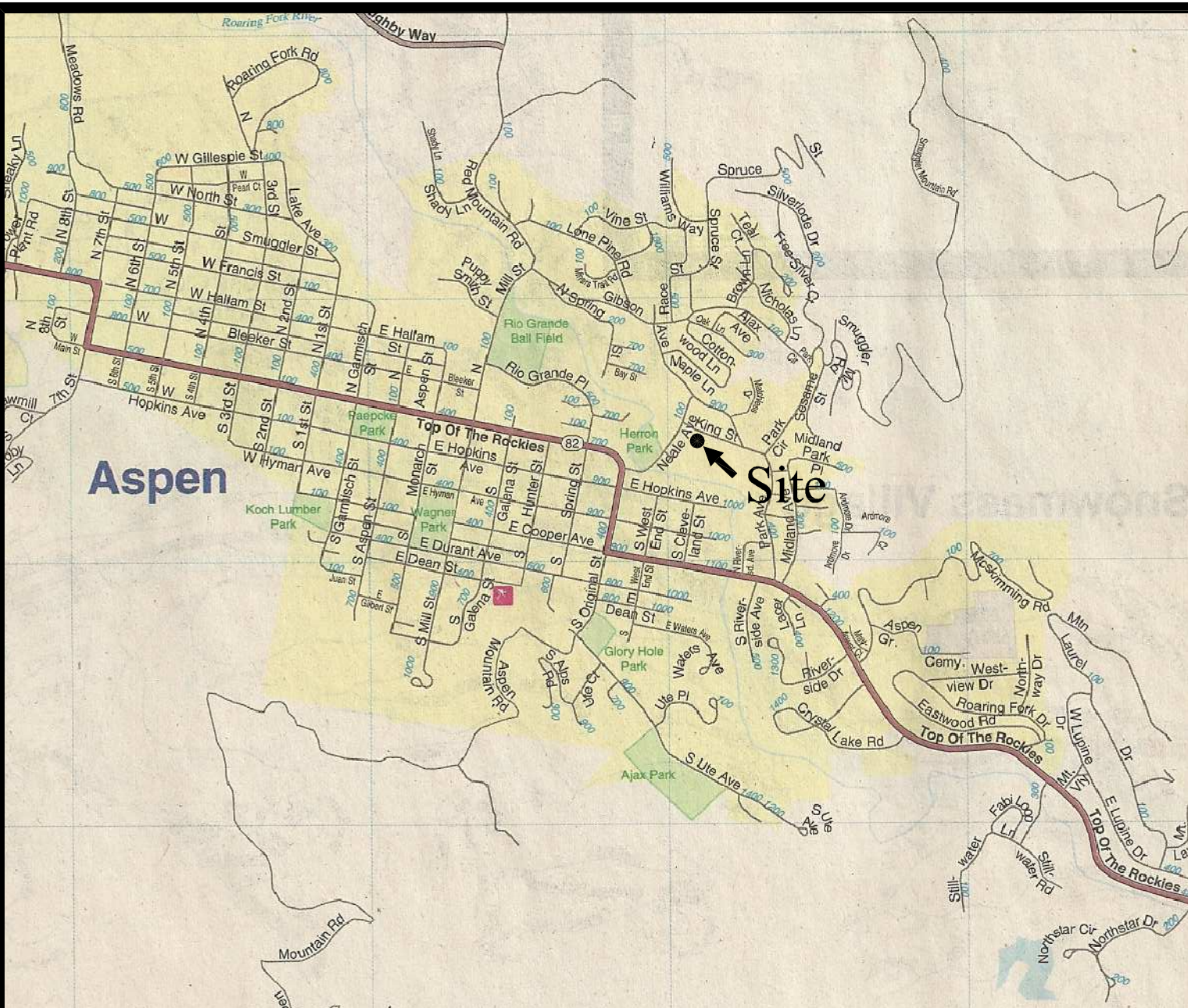
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ZONING SUMMARY

Monumented Land and Improvement Survey

Legal Description



Vicinity Map
(no scale)

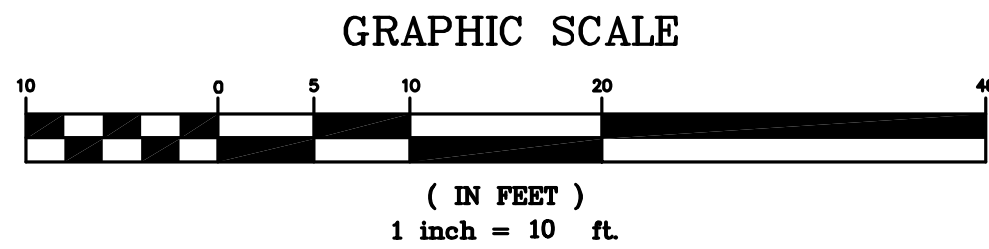
Legend of Symbols:

- Survey monuments found or set as described
- Street light
- Street sign or electric meter as described
- Telephone riser
- Rock wall
- Irrigation control valve
- Water shut-off valve
- Fire hydrant
- Water valve
- Sanitary sewer cleanout
- Sanitary sewer manhole
- Electric manhole
- Coniferous tree and trunk size in inches and spread in feet
- Aspen tree and trunk size in inches and spread in feet
- Deciduous tree and trunk size in inches and spread in feet
- Coniferous shrub

Buried Utility Line(s)

- S — Sanitary sewer
- W — Potable water
- P — Telephone
- E — Electric
- G — Natural gas
- C — Cable TV
- F — Fiber optic

SURVEY TO BE UPDATED
PER 26.575.020-1



All Linear Dimensions Shown Hereon are in US Survey Feet
Contour Interval is 1.0' Vertical
Elevation datum is NAVD 88 and is based upon an elevation of 7911.98 for ngs monument Q-158, a brass cap in concrete at the Southwesterly corner of the Pitkin County Courthouse lawn.

Lot 2
114 Neale/17 Queen Street
Subd. Exemption Plat
Rec. No. 417433

Lot 1
Shoafs Waterfall
Subdivision
Rec. No. 367143

Lot A
No Problem Joe
Subdivision
Rec. No. 431148

Surveyor's Credentials and Stamp

SURVEYOR'S CERTIFICATION:
I, SAMUEL D. PHELPS, DO HEREBY CERTIFY THAT I AM A LICENSED LAND SURVEYOR LICENSED UNDER THE LAWS OF THE STATE OF COLORADO, THAT THIS MONUMENTED LAND, TOPOGRAPHIC AND IMPROVEMENT SURVEY FULLY AND ACCURATELY DEPICTS THE BOUNDARY AND BUILDING ENVELOPE SHOWN HEREON, AND THAT SUCH MAP COMPLIES WITH ALL REQUIREMENTS OF C.R.S. 38-51-101 AND 102 ET SEQ., AND THAT SUCH MAP WAS PREPARED FROM AN ACTUAL MONUMENTED LAND SURVEY OF THE SUBJECT PROPERTY THAT WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION AND CHECKING, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT I FURTHER CERTIFY THAT SAID SURVEY CLOSES WITHIN A MINIMUM TOLERANCE OF 1/1000 OF THE DISTANCE MEASURED.

SURVEYOR'S NOTES:
1) THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY THIS SURVEYOR TO DISCOVER EASEMENTS OR OTHER ENCUMBRANCES OF RECORD THAT MAY AFFECT THE SUBJECT PROPERTY. ALL INFORMATION PERTAINING TO OWNERSHIP, EASEMENTS OR OTHER ENCUMBRANCES OF RECORD HAVE BEEN TAKEN FROM A TITLE INSURANCE COMMITMENT PREPARED BY ATTORNEYS TITLE GUARANTY FUND, INC., TITLE INSURANCE COMMITMENT ORDER NUMBER PC201208012598, EFFECTIVE DATE AUGUST 6, 2012 AT 7:45 A.M.
2) BEARINGS AS SHOWN HEREON ARE BASED UPON RTK-GPS OBSERVATIONS AND ARE RELATIVE TO A BEARING OF N 15°40'03"E BETWEEN THE SURVEY MONUMENTS GPS-1, AN ALUMINUM CAP IN A RANGE BOX AT THE INTERSECTION OF SO. WEST END STREET AND E. DURANT AVE. AND GPS-4, AN ALUMINUM CAP IN A RANGE BOX AT THE INTERSECTION OF SO. WEST END STREET AND E. JOPKINS AVE.
3) PROJECT BENCHMARK: NGS CONTROL POINT Q-159, A BRASS CAP IN A CONCRETE POST AT THE SOUTHWEST CORNER OF THE PITKIN COUNTY COURTHOUSE LAWN. NAVD 88 ELEVATION IS 7911.98.
4) RECORD BEARINGS OF THE SUBJECT PROPERTY HAVE BEEN ROTATED +00°55'03" TO CONFORM WITH THE BASIS OF BEARINGS FOR THIS SURVEY.
5) DATE OF FIELD WORK: 15/APRIL/2013 AND 24/APRIL/2013. SNOW COVER AT THE TIME OF THE FIELD SURVEY MAY HAVE OBSCURRED SOME GROUND LINE FEATURES AND THEREFORE THEY MAY NOT BE SHOWN.

LEGAL DESCRIPTION:

STREET ADDRESS

FLOOD STATEMENT:
ACCORDING TO THE FLOOD INSURANCE RATE MAPS FOR PITKIN COUNTY AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY THE SUBJECT PROPERTY DEPICTED HEREON IS NOT DESIGNATED TO LIE WITHIN THE LIMITS OF THE 100 YEAR FLOOD PLAIN AS SHOWN ON COMMUNITY PANEL NO. 08097 C0204 C, EFFECTIVE DATE JUNE, 4, 1987.

Slope Analysis:

- No Hatching Slopes 0% to 20% (4,537 sq. ft. or 0.76%)
- Slopes 20%+ to 30% (236 sq. ft. or 0.04%)
- Slopes 30%+ to 40% (136 sq. ft. or 0.02%)
- Slopes greater than 40% (1,092 sq. ft. or 0.18%)

Notice: (In accordance with C.R.S. 13-80-105 et. seq.)
PLS No. 25947
S30°17'00"W 3.40' (COA GPS S31°12'03"W)
Found Nail and Shiner in Wall
Found Rebar W/Plastic Cap
PLS No. 25947

Sheet
1 of 1

Date:

NO.	BY	DATE	REVISION DESCRIPTION

SurvCo, Inc.
RTK GPS and Conventional Land Surveying Services
826-1/2 Grand Avenue
Post Office Box 2782
Glenwood Springs, CO. 81602-2782
Phone: (970) 945-5945 Cell: (970) 379-7399
Email: survco@gmail.com

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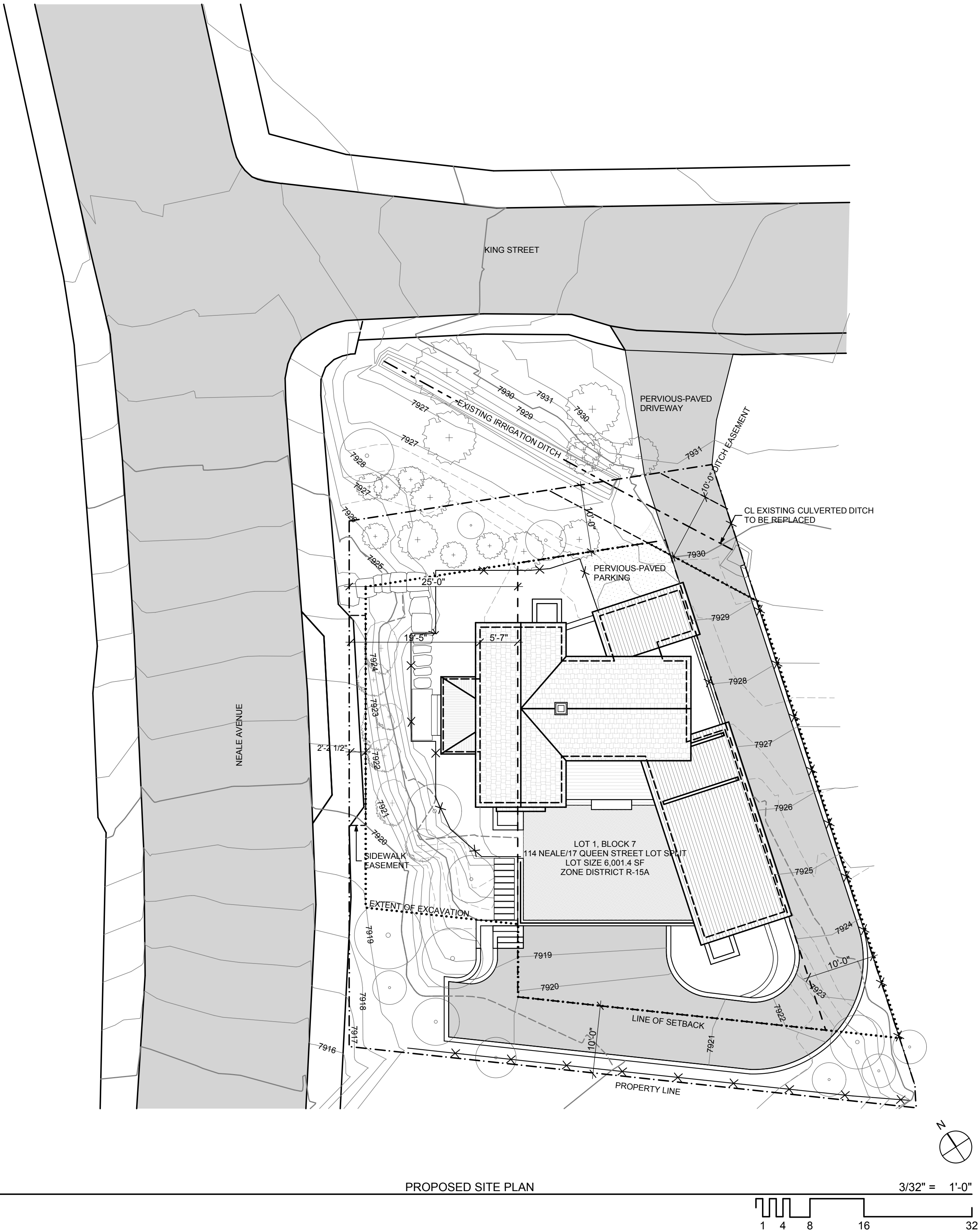
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SITE PLAN



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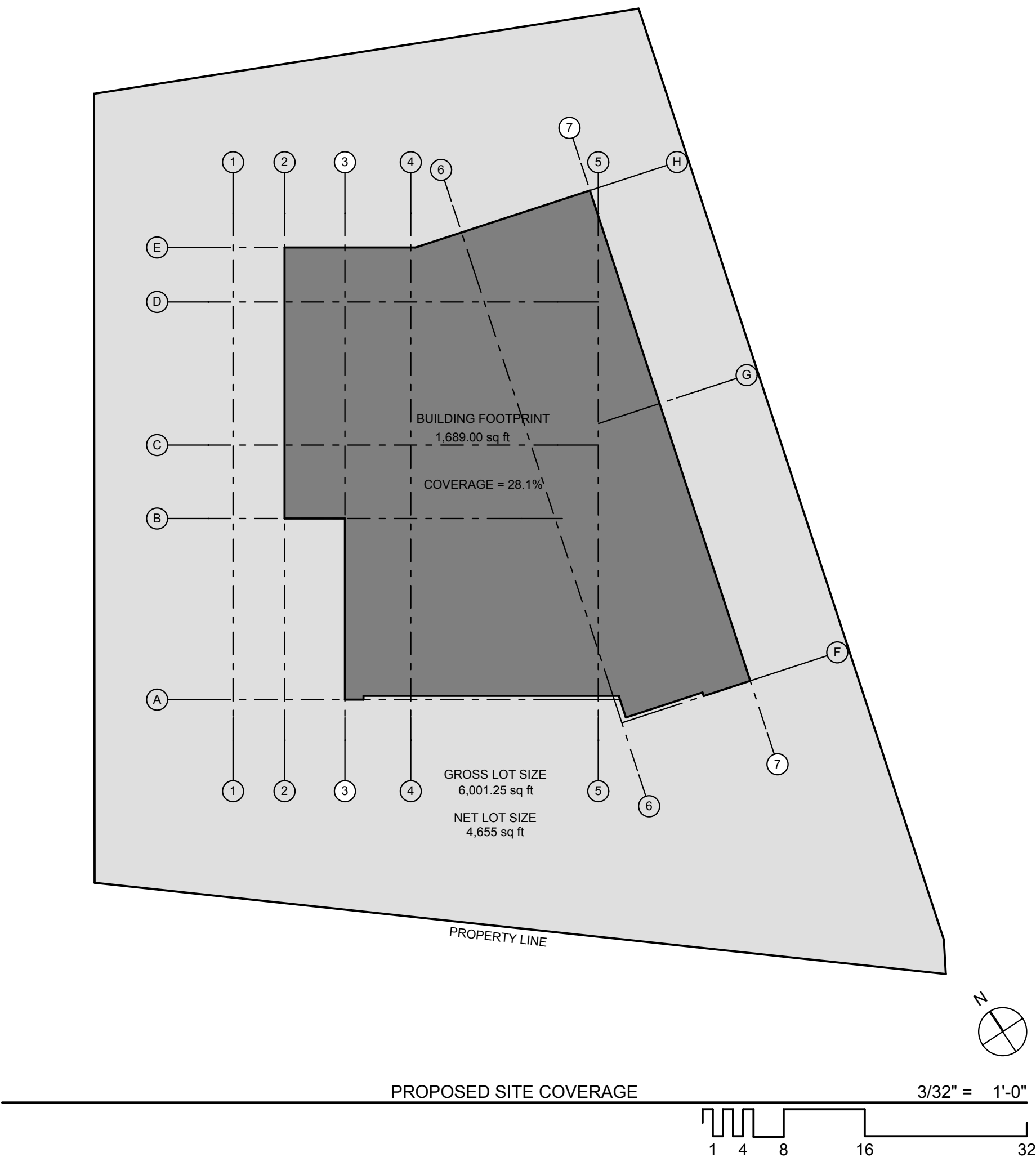
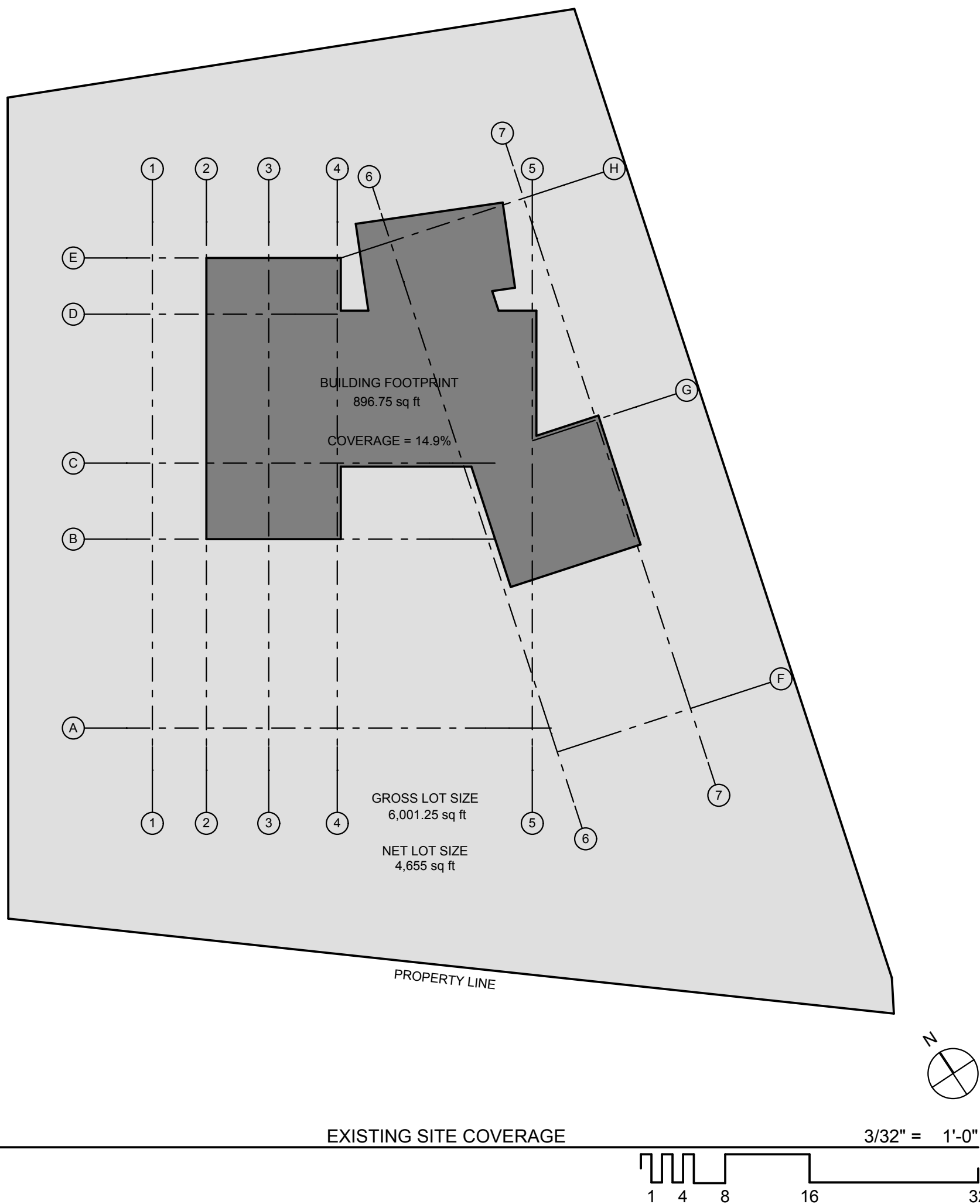
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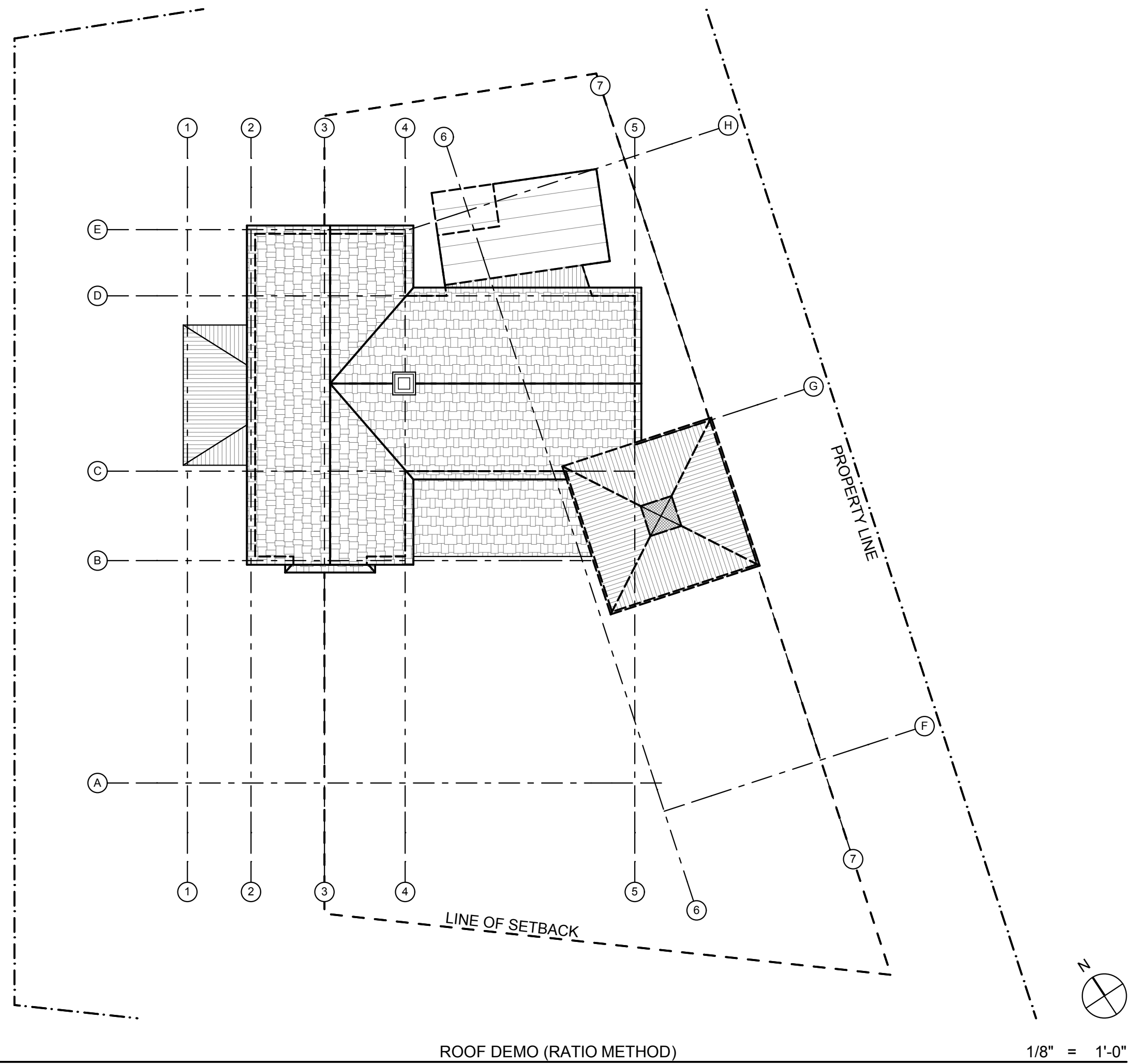
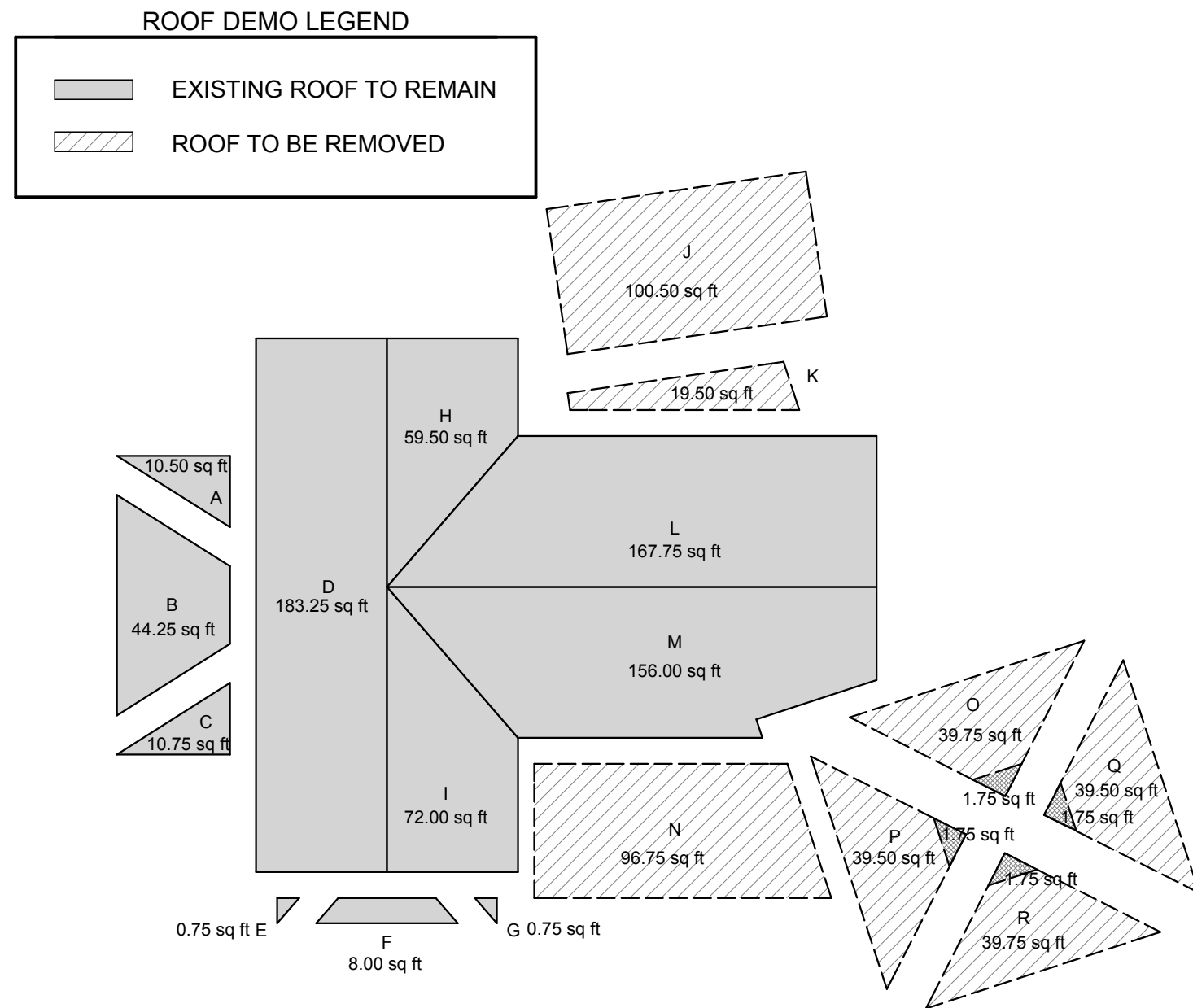
EXAMPLE SITE
COVERAGE



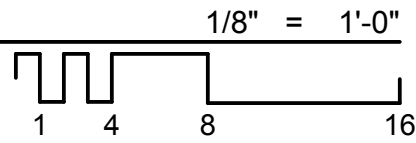
Demolition Calculations – Ratio Method
City of Aspen Model Zoning Submission

Roof Demolition					
Roof Label	Individual Roof Area in Plan (Sq Ft)	Roof Slope	Adjustment Factor	Actual Area of Roof Used for Demo Calc (Sq Ft)	Area of Roof to be Removed (Sq Ft)
A	10.50	04:12	1.054	11.07	
B	44.25	02:12	1.014	44.87	
D	10.75	04:12	1.054	11.33	
D	183.25	12:12	1.414	259.12	
E	0.75	06:12	1.118	0.84	
F	8.00	06:12	1.118	8.94	
G	0.75	06:12	1.118	0.84	
H	59.50	12:12	1.414	84.13	
I	72.00	12:12	1.414	101.81	
J	100.50	00:00	1.000	100.50	100.50
K	19.50	00:00	1.000	19.50	19.50
L	167.75	12:12	1.414	237.20	
M	156.00	12:12	1.414	220.58	
N	96.75	02:12	1.014	98.10	98.10
O	39.75	12:12	1.414	56.21	56.21
P	39.50	12:12	1.414	55.85	55.85
Q	39.50	12:12	1.414	55.85	55.85
R	39.75	12:12	1.414	56.21	56.21
Roof Surface Total (Sq Ft)		1,088.75		1422.95	
Roof Surface Area to be Removed (Sq Ft)					442.22
Demolition Totals					
Roof + Wall Area Used for Demo Calculation (Sq Ft)		1,422.95 + 2,003.75		3,426.70	0.00
Surface Area to be Removed (Sq Ft)		1,047.5 + 442.22		0.00	1,489.72
Total				0.00%	43.47%

Notes: Actual area of roof to be removed is calculated by multiplying the plan area by an adjustment factor, in lieu of depicting each roof segment as a flat plane. The adjustment factor is determined by a ratio of the roof slope.

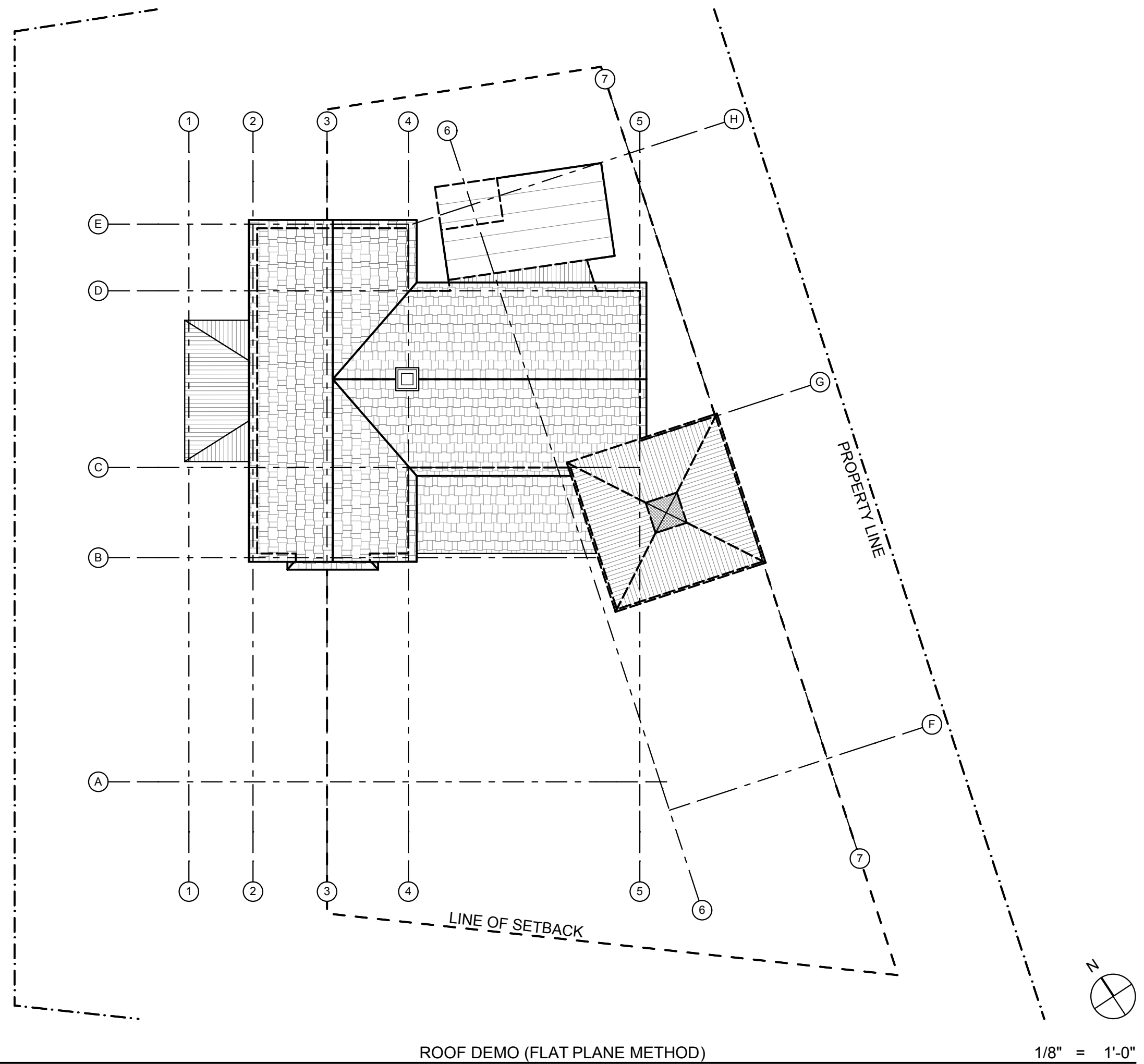
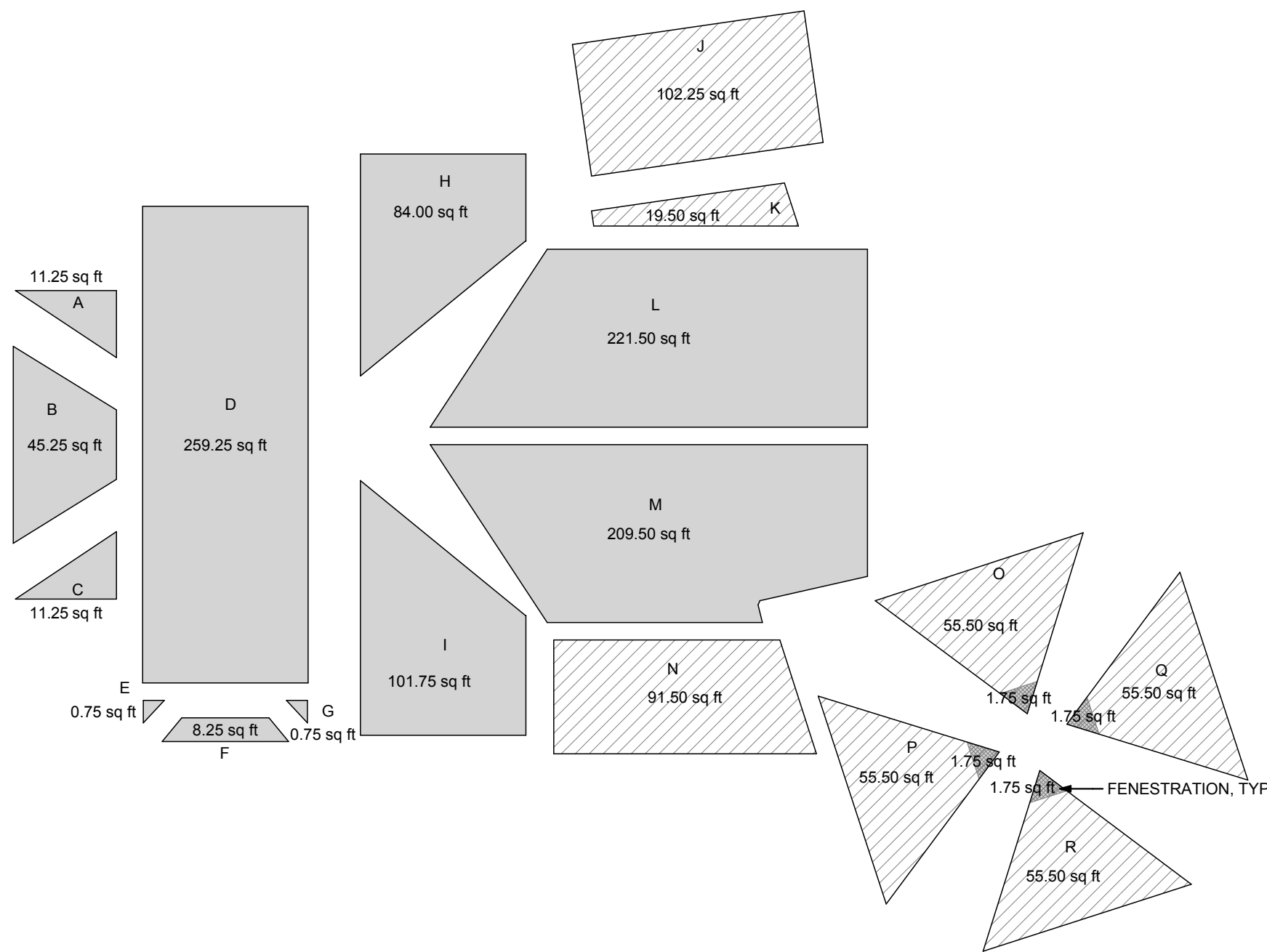


ROOF DEMO (RATIO METHOD)

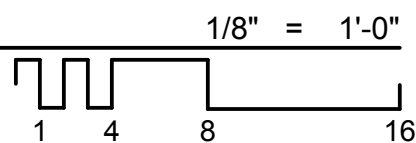


Demolition Calculations – Flat Plane Method
City of Aspen Model Zoning Submission

Roof Demolition		
Roof Label	Individual Roof Area (Sq Ft) as Flat Plane	Area of Roof to be Removed (Sq Ft)
A	11.25	
B	45.25	
D	11.25	
D	259.25	
E	0.75	
F	8.25	
G	0.75	
H	84.00	
I	101.75	
J	102.25	102.25
K	19.50	19.50
L	221.50	
M	209.50	
N	91.50	91.50
O	55.50	55.50
P	55.50	55.50
Q	55.50	55.50
R	55.50	55.50
Roof Surface Total (Sq Ft)		1,388.75
Roof Surface Area to be Removed (Sq Ft)		435.25
Demolition Totals		
Roof + Wall Area Used for Demo Calculation (Sq Ft)		1388.75 + 2,003.75
Surface Area to be Removed (Sq Ft)		1,047.5 + 435.25
Total		43.71%



ROOF DEMO (FLAT PLANE METHOD)



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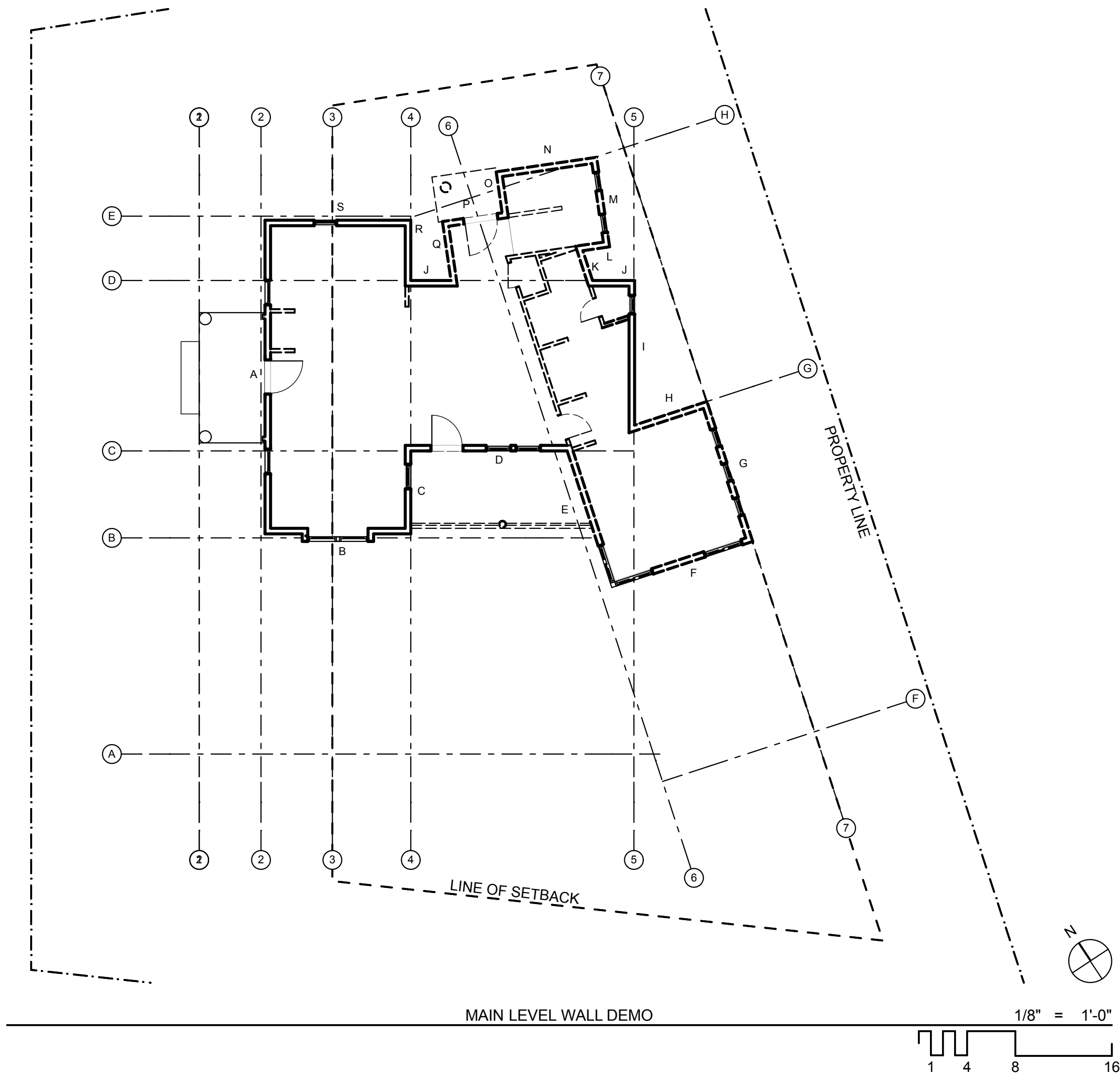
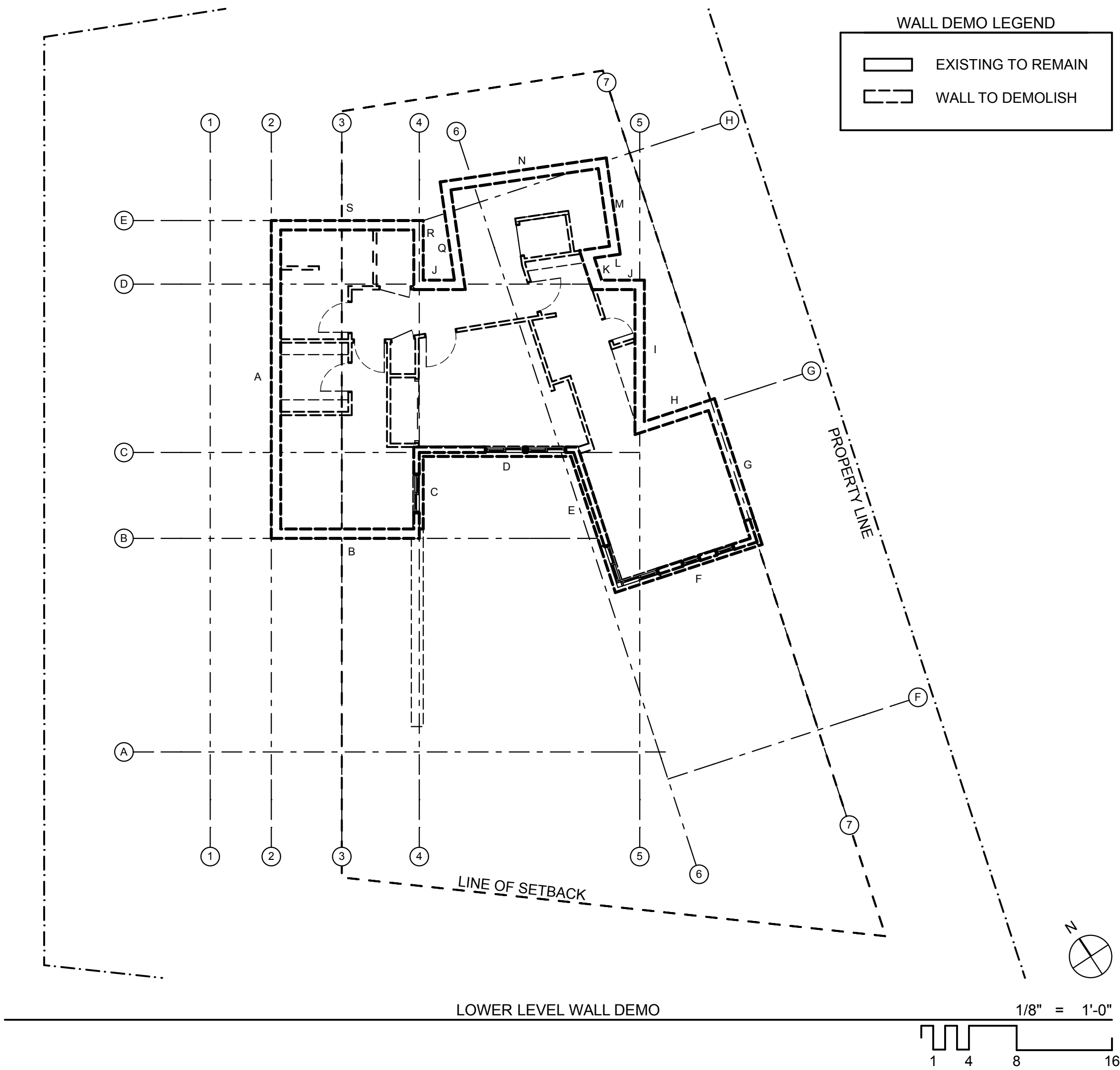
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ROOF DEMOLITION
CALCULATIONS

Demolition Calculations
City of Aspen Model Zoning Submission

Wall Demolition			
Wall Label	Individual Wall Area (Sq Ft)	Area Reduced for Fenestration (Sq Ft)	Area of Wall to be Removed (Sq Ft)
A	291.50	38.00	35.75
B	187.75	25.50	21.50
C	103.75	10.25	36.25
D	194.50	37.00	67.00
E	184.50		184.50
F	184.50		184.50
G	139.50		139.50
H	61.00		61.00
I	167.00		8.00
J	94.00		3.00
K	18.75		18.75
L	19.50		19.50
M	64.50		64.50
N	72.25		72.25
O	31.25		31.25
P	44.75		44.75
Q	42.25		42.25
R	52.00		2.75
S	165.75	4.50	10.50
Wall Surface Area Total (Sq Ft)		2,119.00	
Area Reduced for Fenestration (Sq Ft)		115.25	
Area Used for Demo Calculation (Sq Ft)		2,003.75	
Wall Surface Area to be Removed (Sq Ft)			1,047.50
Demolition Totals			
Roof + Wall Area Used for Demo Calculation (Sq Ft)		1388.75 + 2,003.75	3,392.50
Surface Area to be Removed (Sq Ft)		1,047.5 + 435.25	1,482.75
Total			43.71%



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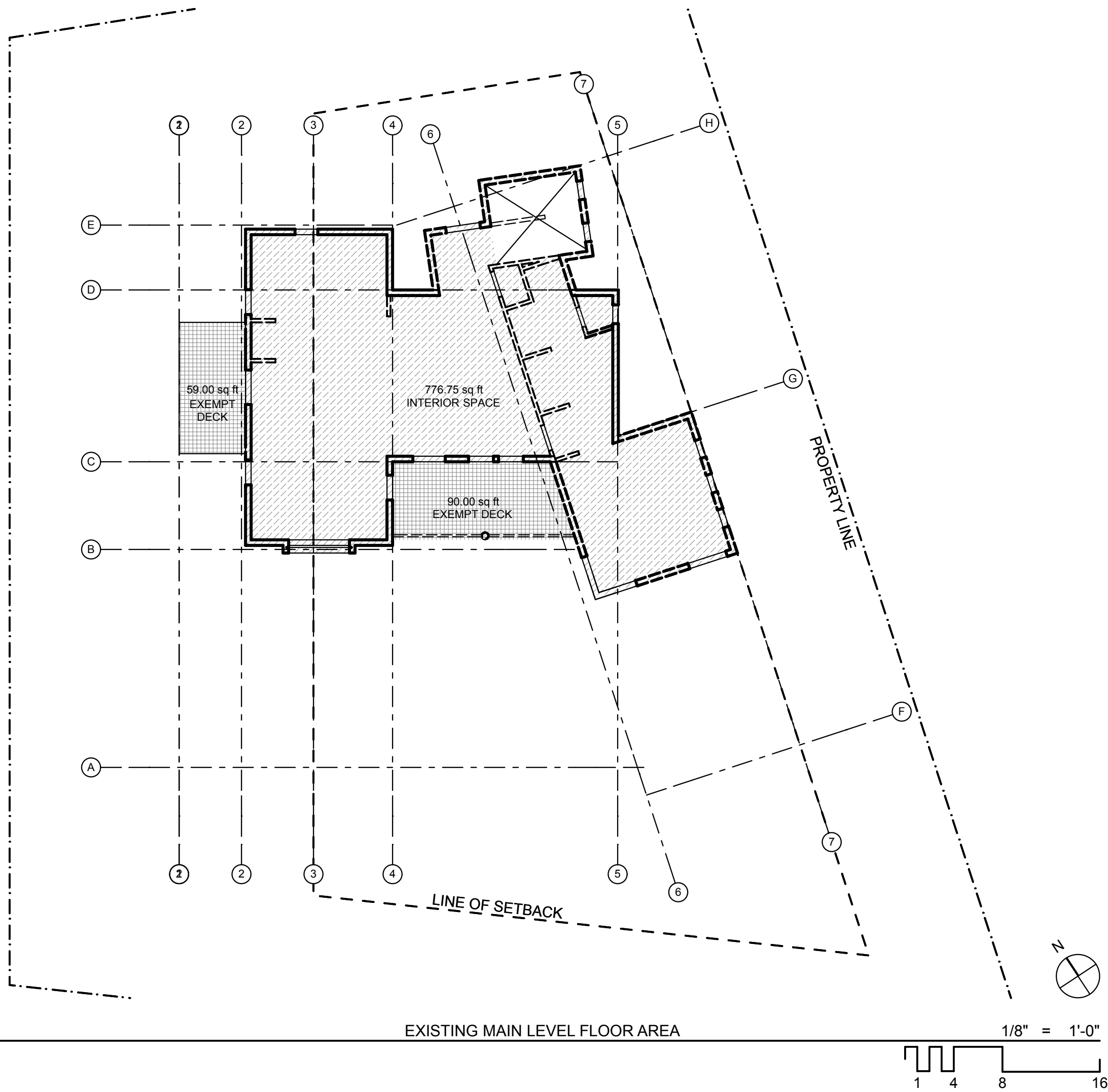
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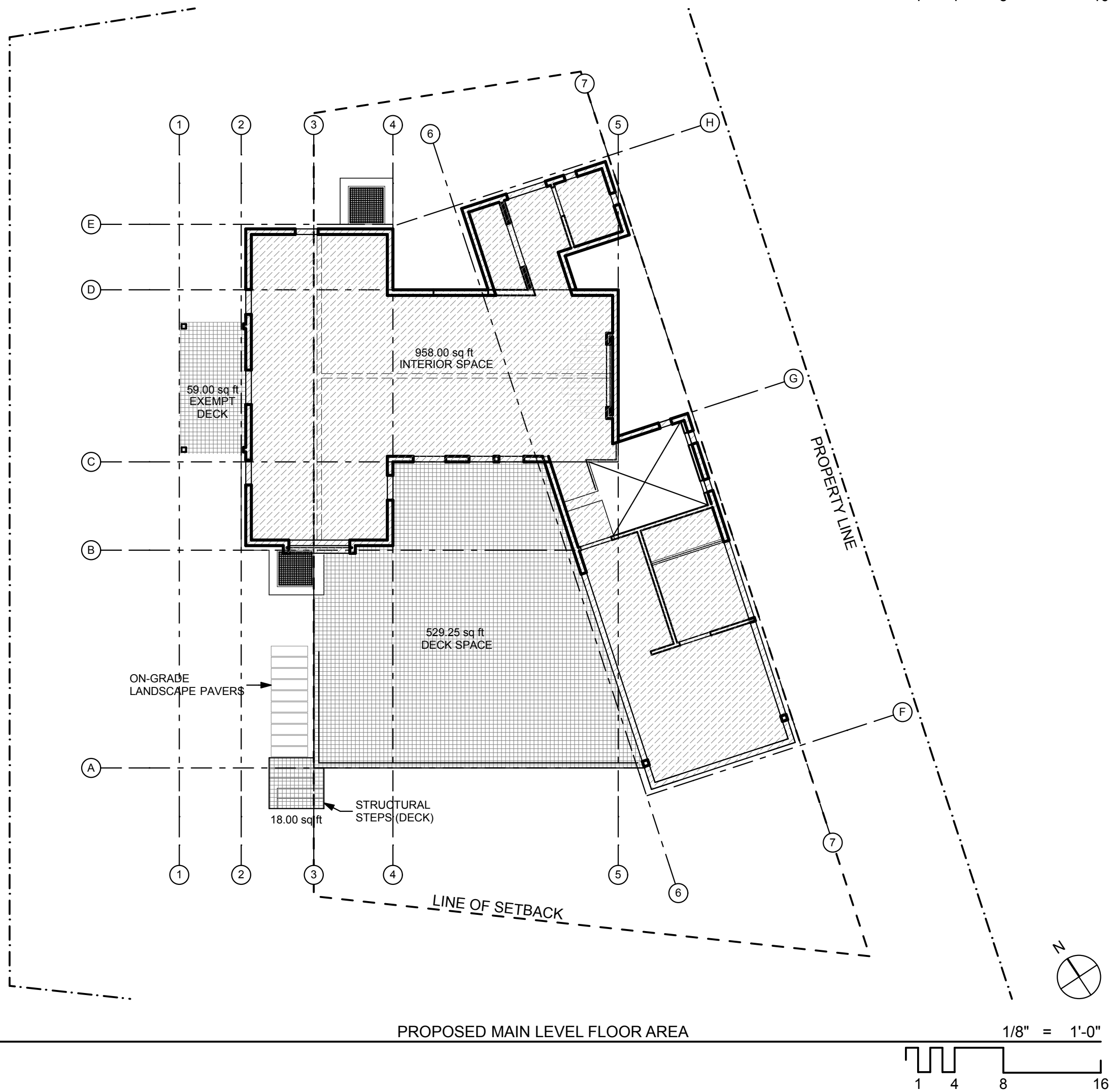
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WALL DEMOLITION
CALCULATIONS

Floor Area Calculations		
City of Aspen Model Zoning Submission		
Existing Main Level Floor Area Calculations		
Main Level Gross Floor Area (Sq Ft)	776.75	
Main Level Countable Floor Area (Sq Ft)	776.75	
Existing Deck/Porch Floor Area Calculations		
Front Porch Gross Floor Area (Sq Ft)	59.00	Exempt per 26.575.020.D.5
Deck Gross Floor Area (Sq Ft)	90.00	Exempt per 15% of allowable
Deck/Porch Countable Floor Area (Sq Ft)	0.00	
Total Existing Floor Area Calculations		
Subgrade Floor Area (Sq Ft)	0.00	
Lower Level Floor Area (Sq Ft)	237.10	
Main Level Floor Area (Sq Ft)	776.75	
Deck/Porch Floor Area (Sq Ft)	0.00	
Total Existing Floor Area (Sq Ft)	1,013.85	



Floor Area Calculations		
City of Aspen Model Zoning Submission		
Proposed Main Level Floor Area Calculations		
Main Level Gross Floor Area (Sq Ft)	958.00	
Main Level Countable Floor Area (Sq Ft)	958.00	
Proposed Deck/Porch Floor Area Calculations		
Front Porch Floor Area (Sq Ft)	59.00	Exempt per 26.575.020.D.5
Deck Floor Area (Sq Ft)	529.25	
Structural Steps Floor Area (Sq Ft)	18.00	
Exempt Deck Floor Area (Sq Ft)	261.75	(1,745 allowable x 15%)
Deck/Porch Countable Floor Area (Sq Ft)	285.50	(529.25+18 – 261.75)
Total Proposed Floor Area Calculations		
Subgrade Floor Area (Sq Ft)	38.33	
Lower Level Floor Area (Sq Ft)	412.43	
Main Level Floor Area (Sq Ft)	958.00	
Deck/Porch Floor Area (Sq Ft)	285.50	
Total Proposed Floor Area (Sq Ft)	1,694.26	



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FLOOR AREA
CALCULATIONS

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FLOOR AREA
CALCULATIONS

EXISTING DOES NOT INCLUDE SUBGRADE LEVEL

Floor Area Calculations

City of Aspen Model Zoning Submission

Proposed Subgrade Level Exposed Wall Calculations

Subgrade Level Wall Label	Total Wall Area (Sq Ft)	Exposed Wall Area (Sq Ft)
1	236.00	
2	48.25	
3	169.75	
4	259.00	
5	16.50	
6	109.75	17.75
7	463.25	
8	166.25	
9	109.00	17.75
Overall Total Wall Area (Sq Ft)	1,577.75	
Exposed Wall Area (Sq Ft)		35.50
% of Exposed Wall (Exposed / Total)	2.25%	

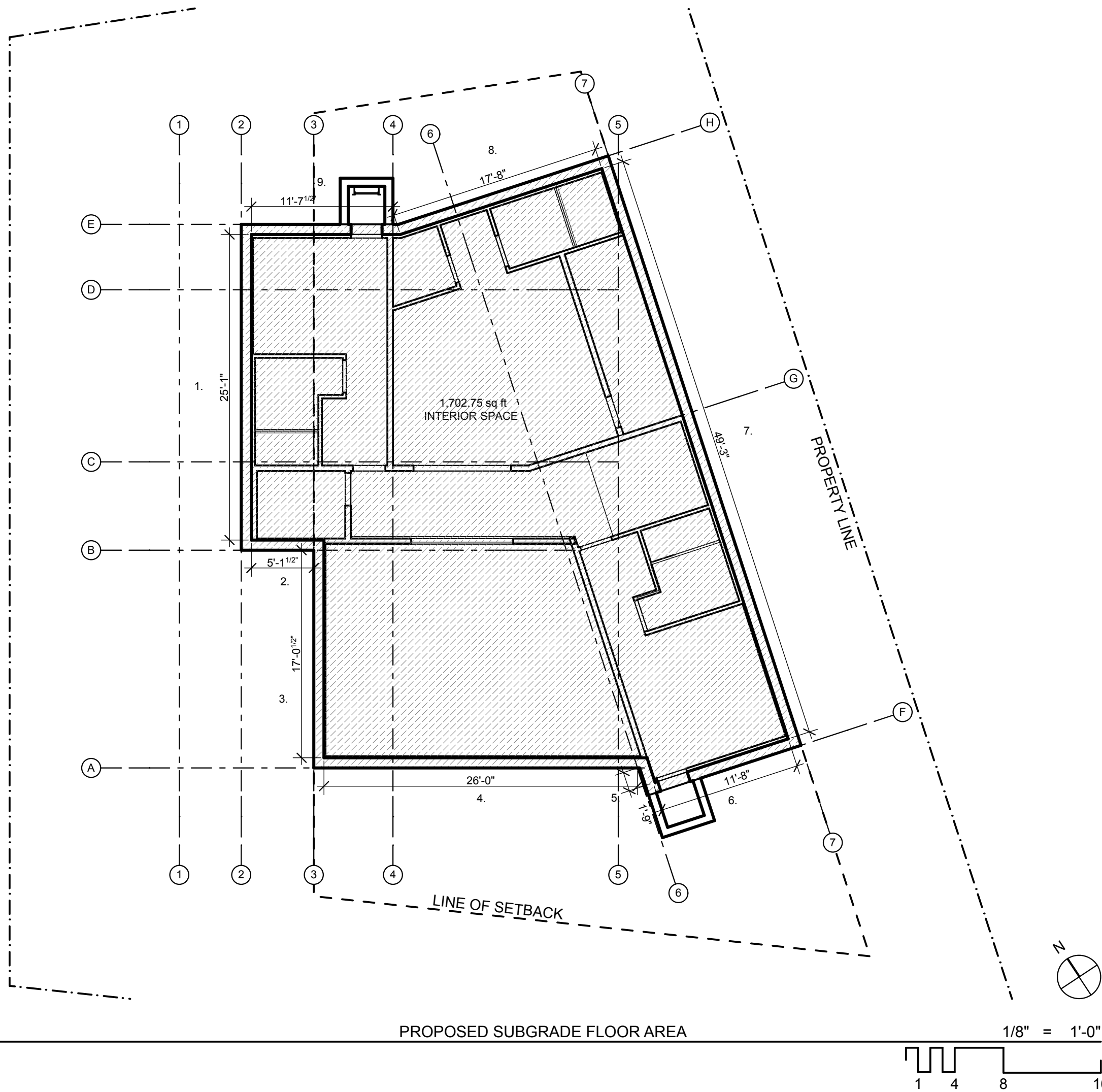
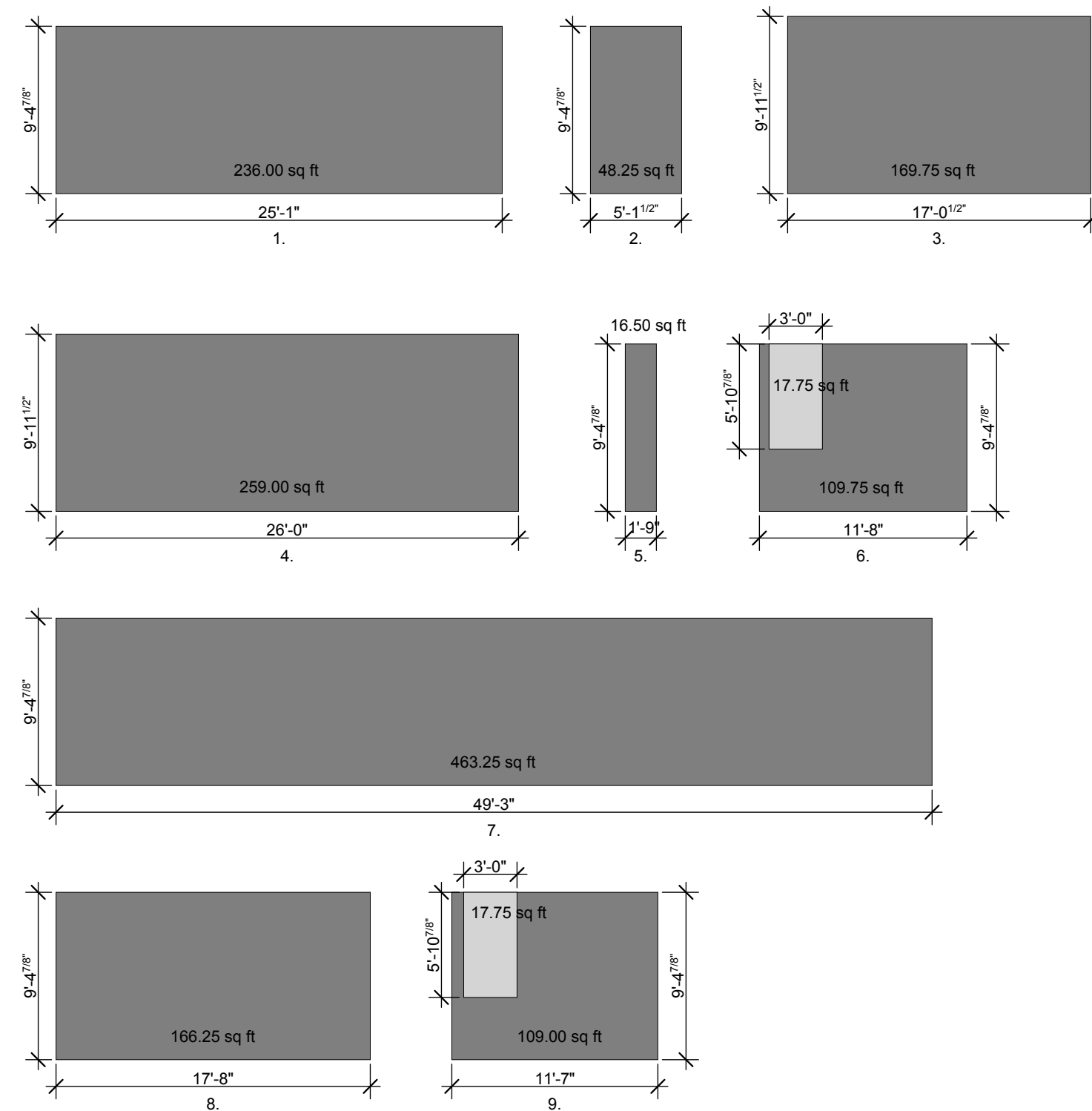
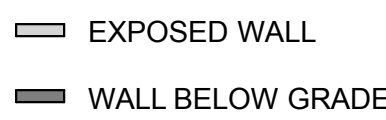
Proposed Subgrade Floor Area Calculations

Subgrade Gross Floor Area (Sq Ft)	1,703	
Subgrade Countable Floor Area (Sq Ft)	38.33	(1,702.75 x 2.25%)

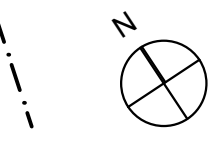
Total Proposed Floor Area Calculations

Subgrade Floor Area (Sq Ft)	38.33	
Lower Level Floor Area (Sq Ft)	412.43	
Main Level Floor Area (Sq Ft)	958.00	
Deck/Porch Floor Area (Sq Ft)	285.50	
Total Proposed Floor Area (Sq Ft)	1,694.26	

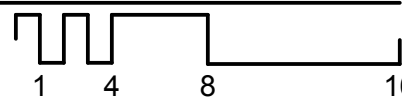
SUBGRADE CALCULATIONS LEGEND



PROPOSED SUBGRADE FLOOR AREA



1/8" = 1'-0"



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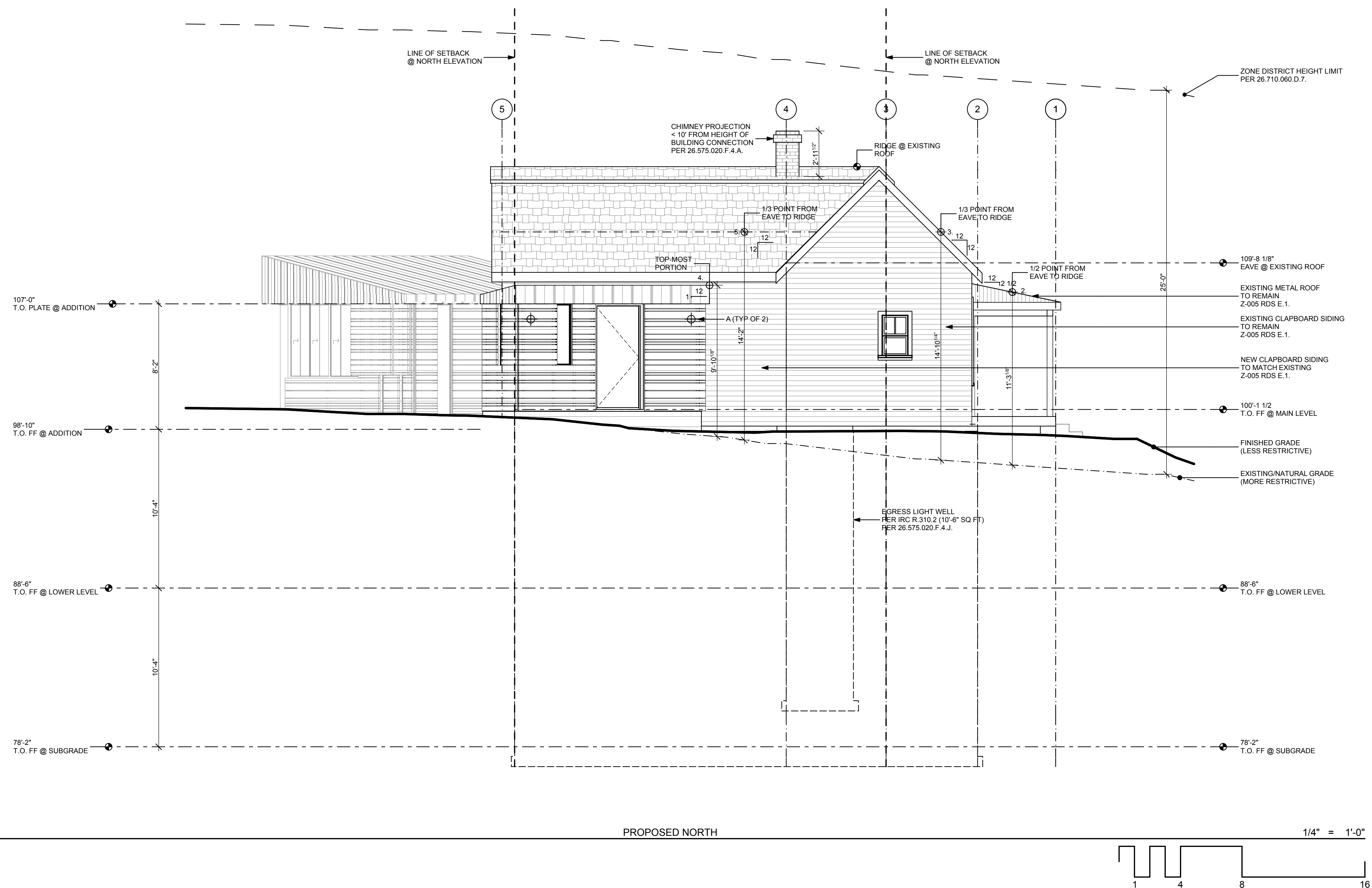
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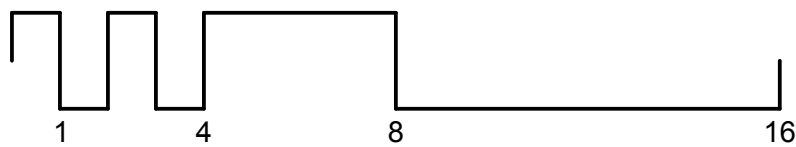
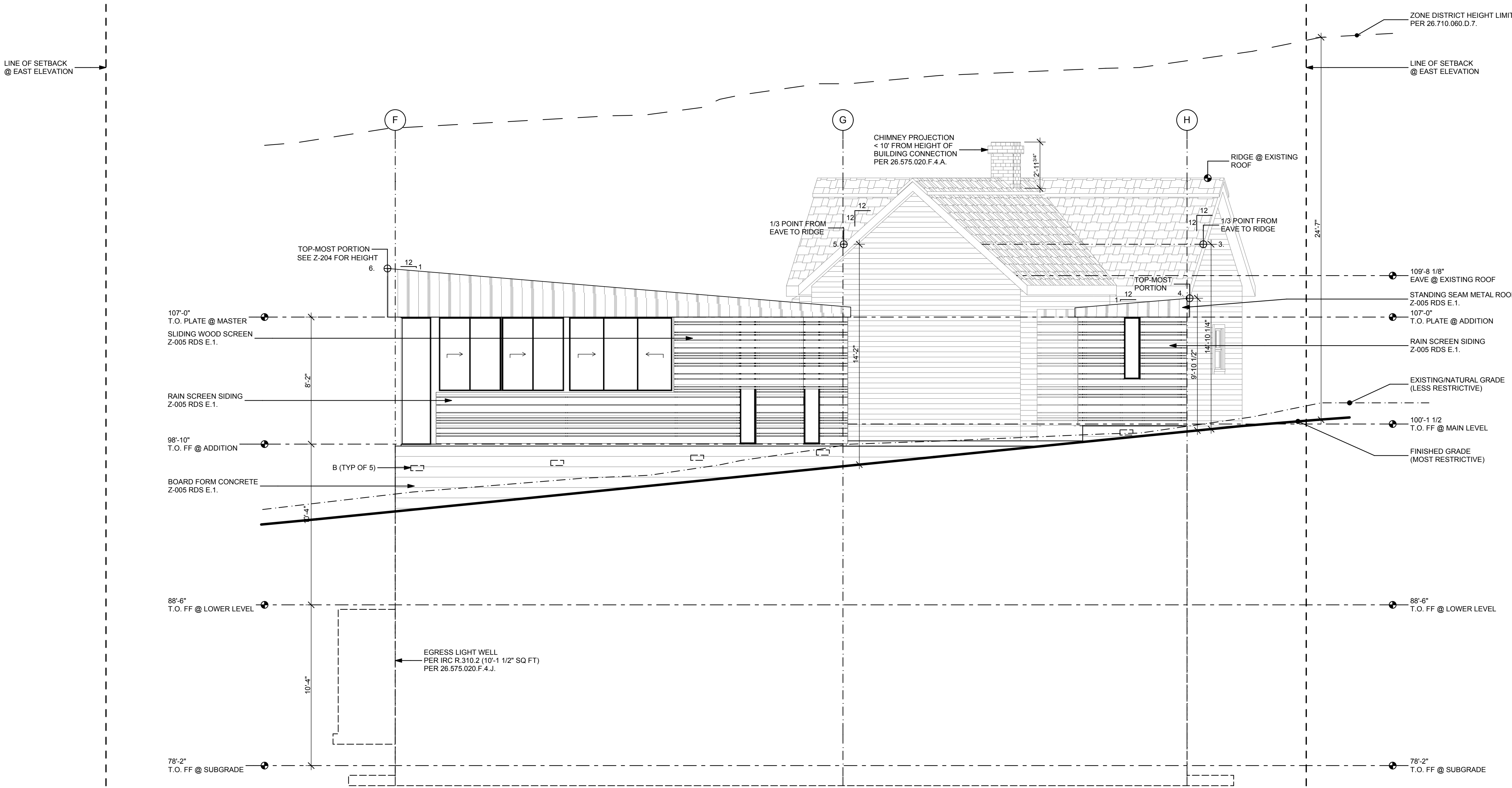
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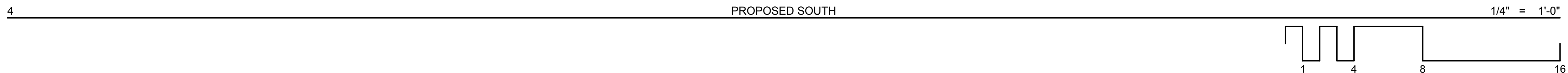
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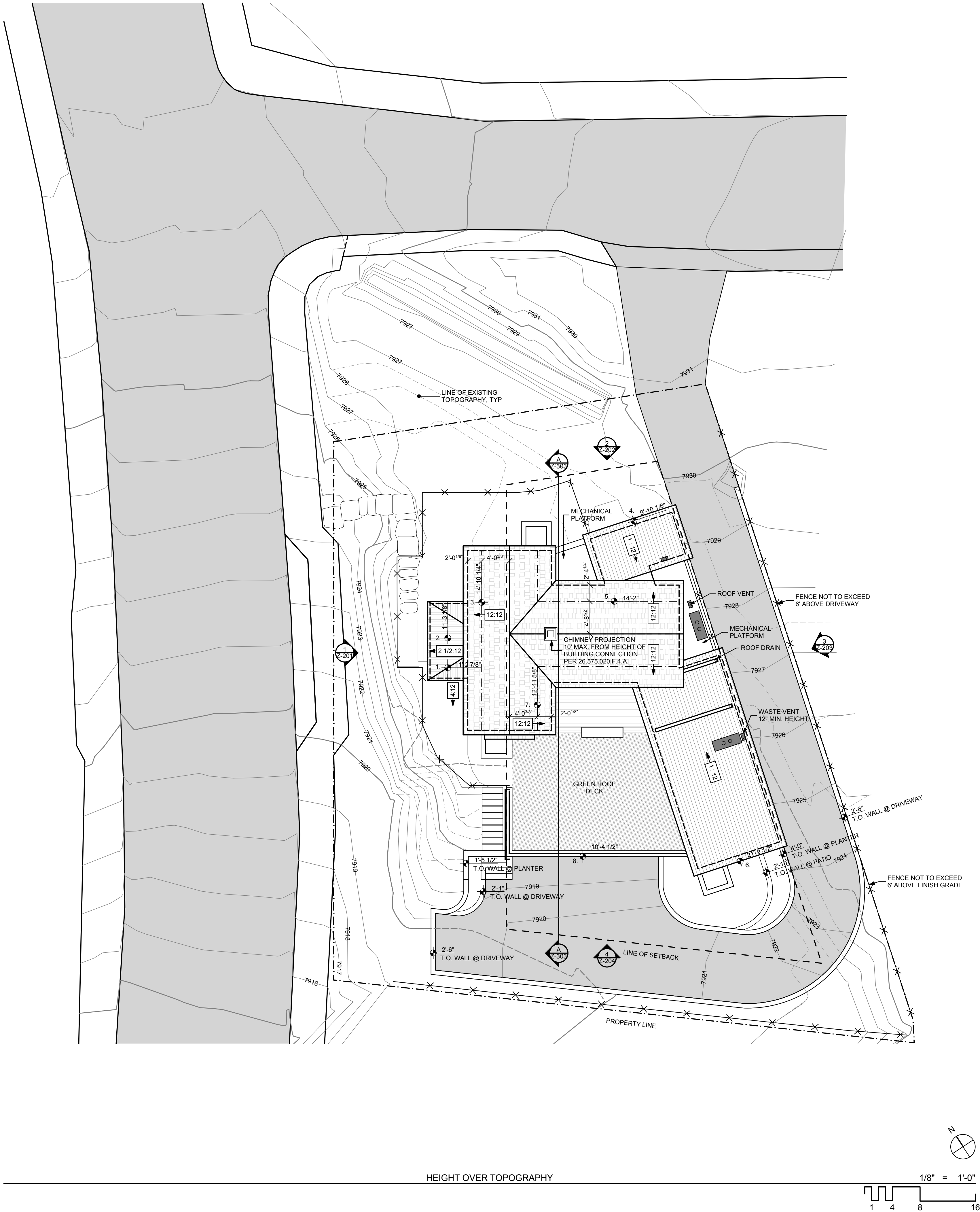
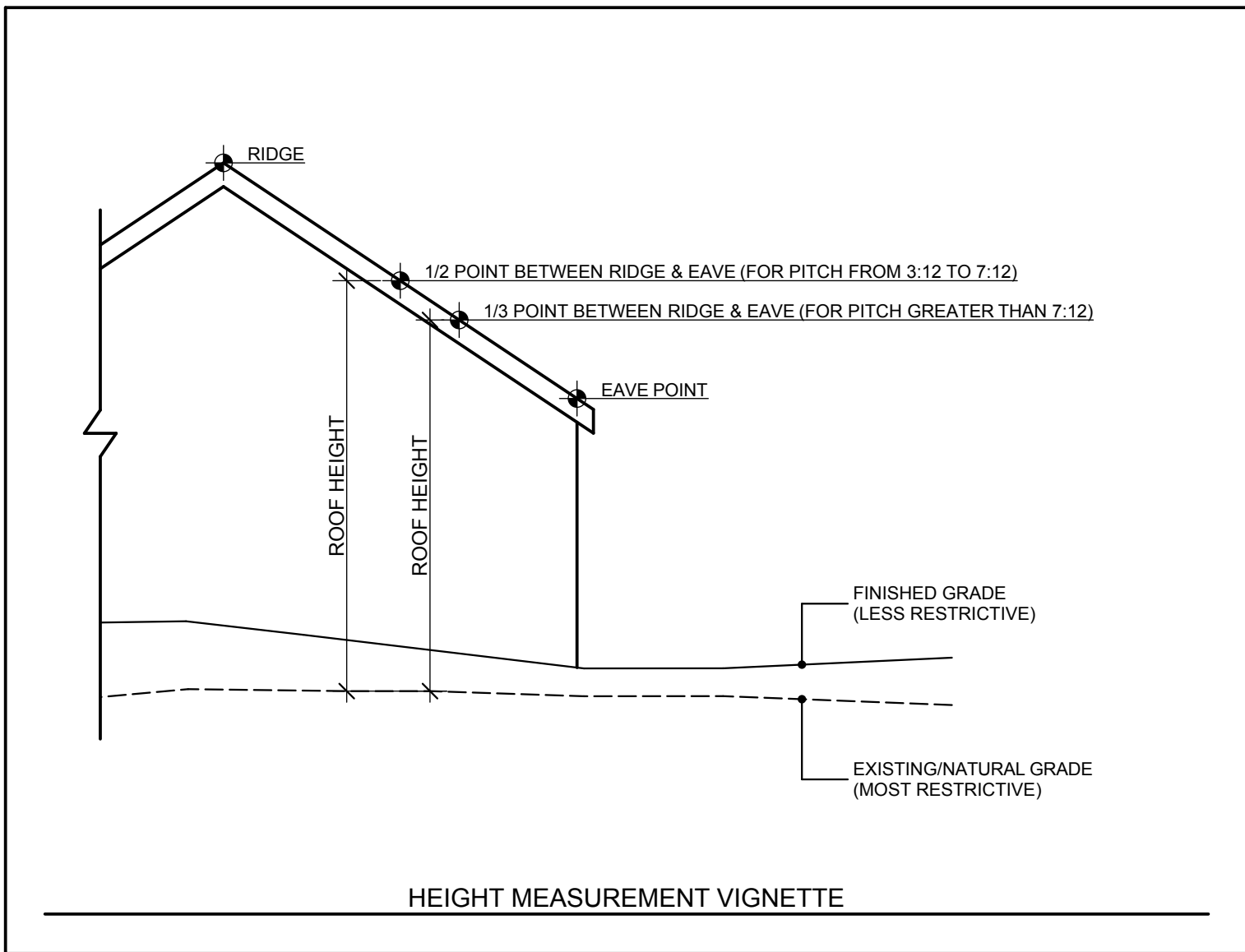




HEIGHTS

Height Over Topography
City of Aspen Model Zoning Submission

Elevation Label	Elevation of Natural Grade	Elevation of Proposed Grade	Most Restrictive	Roof Height over Topography	Actual Roof Height over Most Restrictive
1	7925'	7928'	Natural	7936'-2 7/8"	11'-2 7/8"
2	7925'	7928'	Natural	7936'-3 1/8"	11'-3 1/8"
3	7926'	7928'	Natural	7940'-10 1/4"	14'-10 1/4"
4	7927'	7928'	Natural	7936'-10 1/8"	9'-10 1/8"
5	7927'	7928'	Natural	7942'-2"	14'-2"
6	7920'	7919'	Proposed	7940'-9 1/2"	21'-9 1/2"
7	7925'	7928'	Natural	7937'-11 5/8"	12'-11 5/8"
8	7925'	7919'	Proposed	7929'-4 1/2"	10'-4 1/2"



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