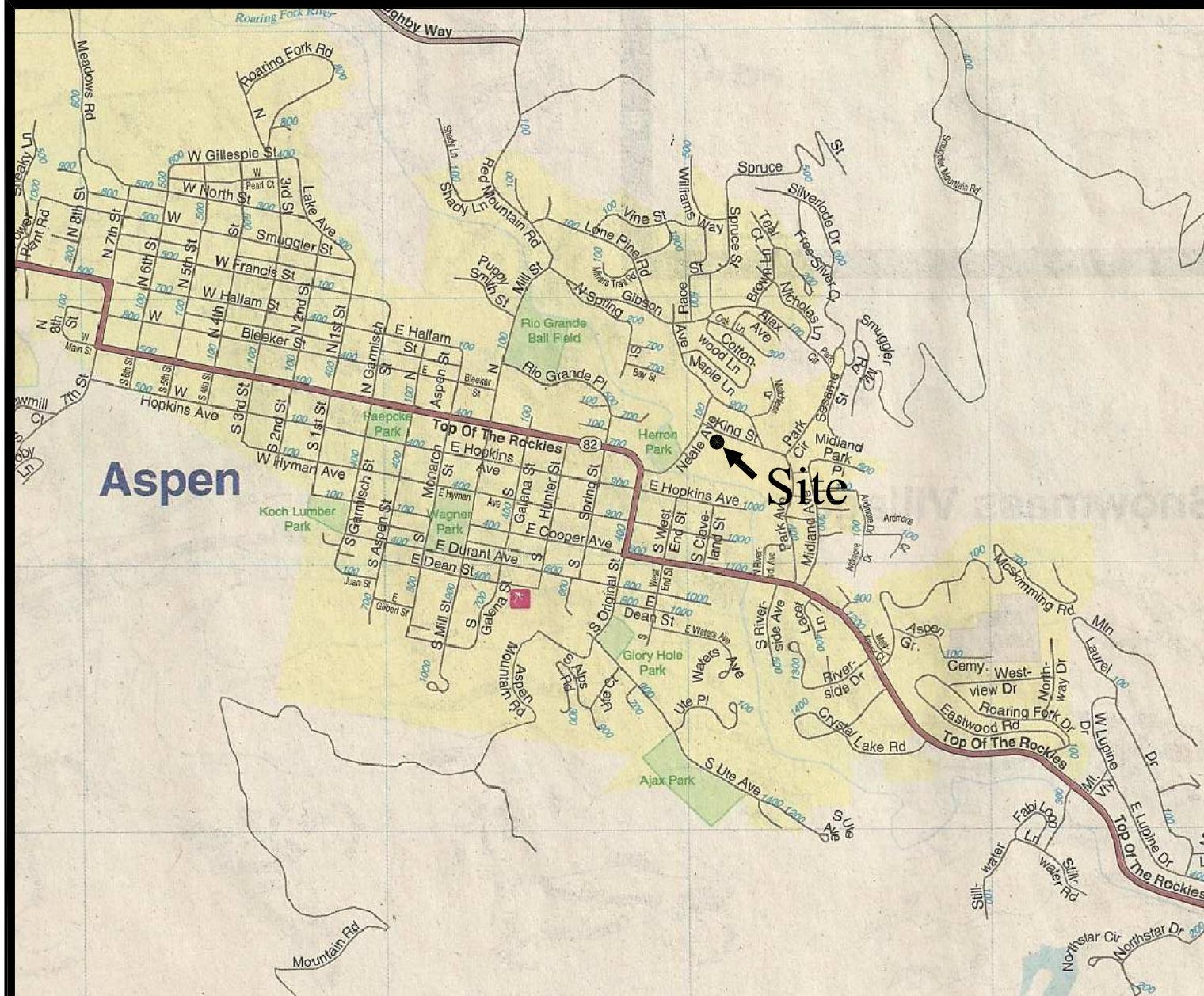


**Monumented Land and Improvement Survey**  
of  
**Legal Description**



# Vicinity Map

(no scale)

### Legend of Symbols:

- Survey monuments found or set as described
- ◆ Street light
- ↙ Street sign or electric meter as described
- ◆ Telephone riser
-  Rock wall
-  Irrigation control valve
-  Water shut-off valve
-  Fire hydrant
-  Water valve
- Sanitary sewer cleanout
- (S) Sanitary sewer manhole
-  Electric manhole
- 0"  0' Coniferous tree and trunk size in inches and spread in feet
- 0"  0' Aspen tree and trunk size in inches and spread in feet
- 0"  0' Deciduous tree and trunk size in inches and spread in feet
-  Coniferous shrub

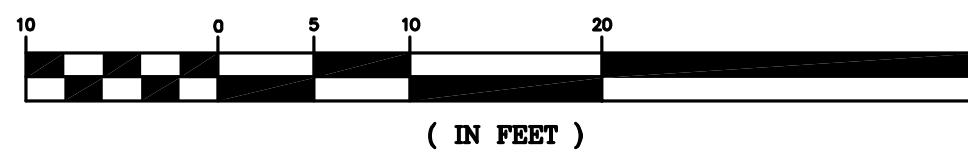
 SURVEY TO BE UPDATED  
PER 26 575 020-1

### Buried Utility Line(s)

- S — Sanitary sewer
- W — Potable water
- P — Telephone
- E — Electric
- G — Natural gas
- C — Cable TV
- F — Fiber optic



## GRAPHIC SCALE

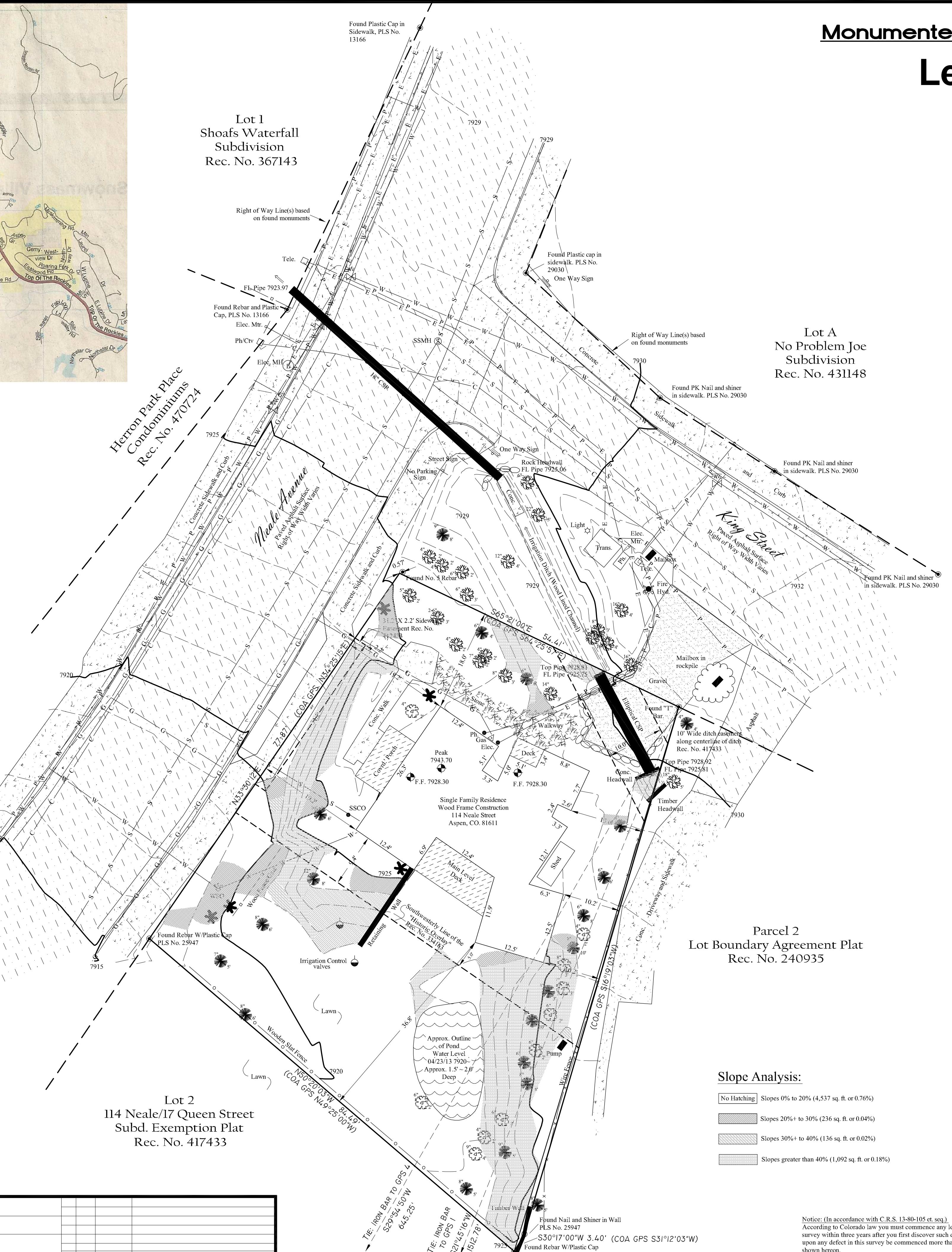


1 inch = 10 ft.

All Linear Dimensions Shown Hereon are in ft  
Contour Interval is 1.0' Vertical

Elevation datum is NAVD 88 and is based upon an elevation of 7911.98 for ngs monument Q-158, a brass cap in concrete at the Southwesterly corner of the Pitkin County Courthouse lawn

Lot 2  
114 Neale/17 Queen Street  
Subd. Exemption Plat  
Rec. No. 417433



Parcel 2  
Lot Boundary Agreement Plat  
Rec. No. 240035

## Slope Analysis:

	Slopes 0% to 20% (4,537 sq. ft. or 0.76%)
	Slopes 20%+ to 30% (236 sq. ft. or 0.04%)
	Slopes 30%+ to 40% (136 sq. ft. or 0.02%)

Notice: (In accordance with C.R.S. 13-80-105 et. seq.)  
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. in no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

FLOOD STATEMENT  
ACCORDING TO THE FLOOD INSURANCE RATE MAPS FOR PITKIN COUNTY AS PREPARED BY  
THE FEDERAL EMERGENCY MANAGEMENT AGENCY THE SUBJECT PROPERTY DEPICTED HEREON  
IS NOT DESIGNATED TO LIE WITHIN THE LIMITS OF THE 100 YEAR FLOOD PLAIN AS SHOWN ON  
COMMUNITY PANEL NO. 08097 C0204 C, EFFECTIVE DATE JUNE 4, 1987.

STREET ADDRESS

# SurvCo, Inc.

**RTK GPS and Conventional Land Surveying Services**