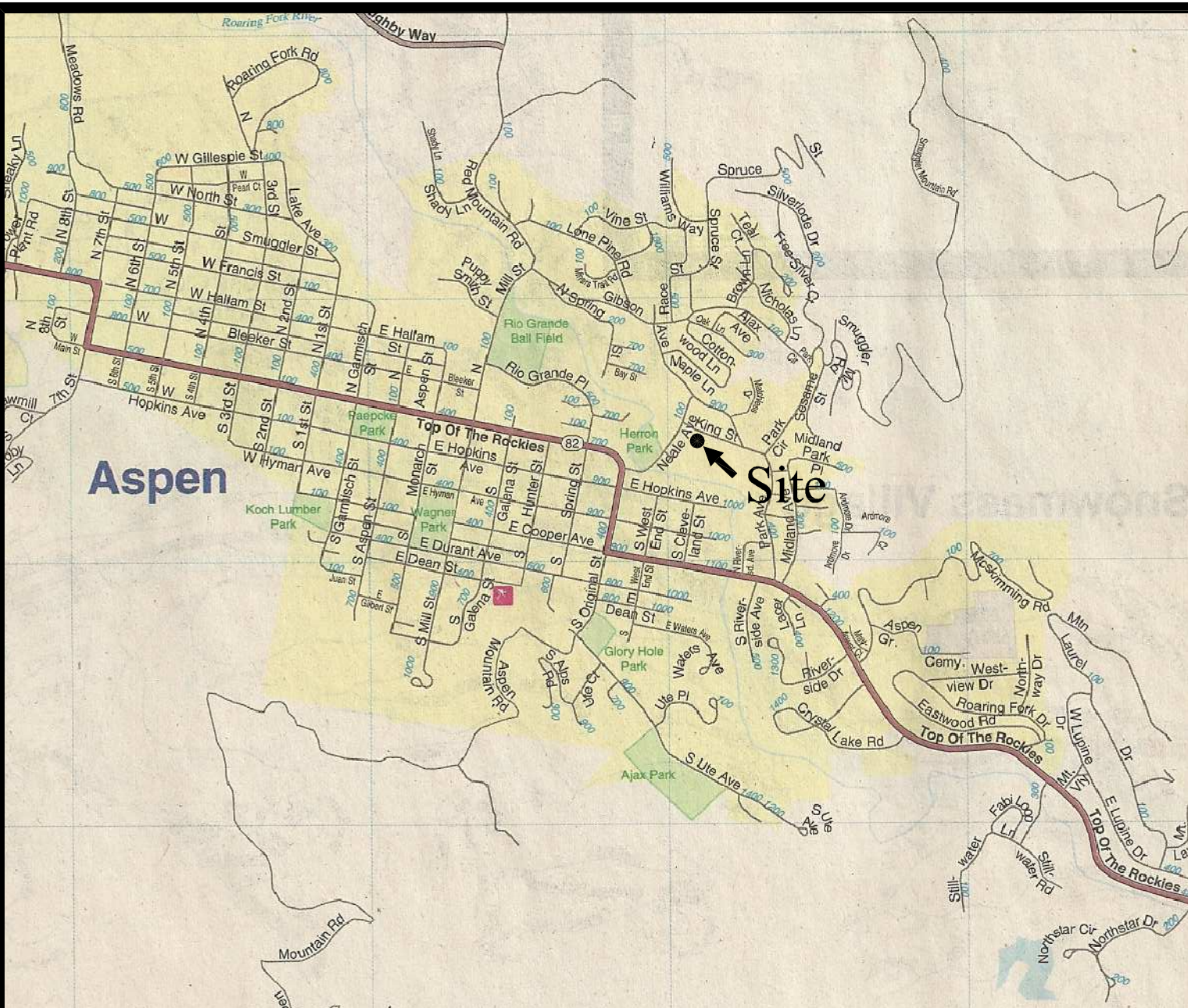


Monumented Land and Improvement Survey

Legal Description



Vicinity Map  
(no scale)

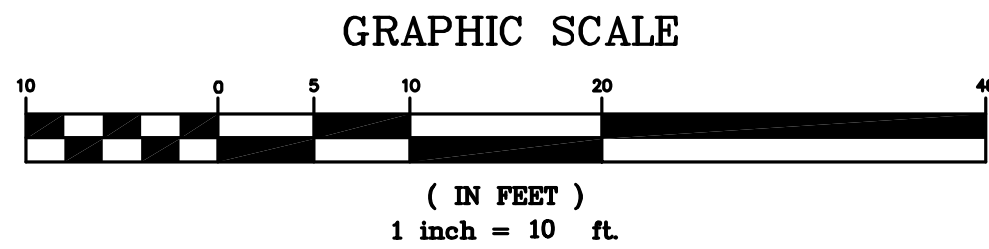
Legend of Symbols:

- Survey monuments found or set as described
- Street light
- Street sign or electric meter as described
- Telephone riser
- Rock wall
- Irrigation control valve
- Water shut-off valve
- Fire hydrant
- Water valve
- Sanitary sewer cleanout
- Sanitary sewer manhole
- Electric manhole
- Coniferous tree and trunk size in inches and spread in feet
- Aspen tree and trunk size in inches and spread in feet
- Deciduous tree and trunk size in inches and spread in feet
- Coniferous shrub

Buried Utility Line(s)

- S — Sanitary sewer
- W — Potable water
- P — Telephone
- E — Electric
- G — Natural gas
- C — Cable TV
- F — Fiber optic

SURVEY TO BE UPDATED  
PER 26.575.020-1



All Linear Dimensions Shown Hereon are in US Survey Feet  
Contour Interval is 1.0' Vertical  
Elevation datum is NAVD 88 and is based upon an elevation of 7911.98 for ngs monument Q-158, a brass cap in concrete at the Southwesterly corner of the Pitkin County Courthouse lawn.

Lot 2  
114 Neale/17 Queen Street  
Subd. Exemption Plat  
Rec. No. 417433

Lot 1  
Shoafs Waterfall  
Subdivision  
Rec. No. 367143

Lot A  
No Problem Joe  
Subdivision  
Rec. No. 431148

Parcel 2  
Lot Boundary Agreement Plat  
Rec. No. 240935

Slope Analysis:

- No Hatching Slopes 0% to 20% (4,537 sq. ft. or 0.76%)
- Slopes 20%+ to 30% (236 sq. ft. or 0.04%)
- Slopes 30%+ to 40% (136 sq. ft. or 0.02%)
- Slopes greater than 40% (1,092 sq. ft. or 0.18%)

Notice: (In accordance with C.R.S. 13-80-105 et. seq.)  
PLS No. 25947  
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

SURVEYOR'S CERTIFICATION:  
I, SAMUEL D. PHELPS, DO HEREBY CERTIFY THAT I AM A LICENSED LAND SURVEYOR LICENSED UNDER THE LAWS OF THE STATE OF COLORADO, THAT THIS MONUMENTED LAND, TOPOGRAPHIC AND IMPROVEMENT SURVEY FULLY AND ACCURATELY DEPICTS THE BOUNDARY AND BUILDING ENVELOPE SHOWN HEREON, AND THAT SUCH MAP COMPLIES WITH ALL REQUIREMENTS OF C.R.S. 38-51-101 AND 102 ET SEQ., AND THAT SUCH MAP WAS PREPARED FROM AN ACTUAL MONUMENTED LAND SURVEY OF THE SUBJECT PROPERTY THAT WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION AND CHECKING, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT I FURTHER CERTIFY THAT SAID SURVEY CLOSES WITHIN A MINIMUM TOLERANCE OF 1/1000 OF AN INCH.

Surveyor's Credentials and Stamp

SURVEYOR'S NOTES:  
1) THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY THIS SURVEYOR TO DISCOVER EASEMENTS OR OTHER ENCUMBRANCES OF RECORD THAT MAY AFFECT THE SUBJECT PROPERTY. ALL INFORMATION PERTAINING TO OWNERSHIP, EASEMENTS OR OTHER ENCUMBRANCES OF RECORD HAVE BEEN TAKEN FROM A TITLE INSURANCE COMMITMENT PREPARED BY ATTORNEYS TITLE GUARANTY FUND, INC., TITLE INSURANCE COMMITMENT ORDER NUMBER PC201208012598, EFFECTIVE DATE AUGUST 6, 2012 AT 7:45 A.M.  
2) BEARINGS AS SHOWN HEREON ARE BASED UPON RTK-GPS OBSERVATIONS AND ARE RELATIVE TO A BEARING OF N 15°40'03"E BETWEEN THE SURVEY MONUMENTS GPS-1, AN ALUMINUM CAP IN A RANGE BOX AT THE INTERSECTION OF SO. WEST END STREET AND E. DURANT AVE. AND GPS-4, AN ALUMINUM CAP IN A RANGE BOX AT THE INTERSECTION OF SO. WEST END STREET AND E. JOPKINS AVE.  
3) PROJECT BENCHMARK: NGS CONTROL POINT Q-159, A BRASS CAP IN A CONCRETE POST AT THE SOUTHWEST CORNER OF THE PITKIN COUNTY COURTHOUSE LAWN. NAVD 88 ELEVATION IS 7911.98  
4) RECORD BEARINGS OF THE SUBJECT PROPERTY HAVE BEEN ROTATED +00°55'03" TO CONFORM WITH THE BASIS OF BEARINGS FOR THIS SURVEY.  
5) DATE OF FIELD WORK: 15/APRIL/2013 AND 24/APRIL/2013. SNOW COVER AT THE TIME OF THE FIELD SURVEY MAY HAVE OBSCURRED SOME GROUND LINE FEATURES AND THEREFORE THEY MAY NOT BE SHOWN.

LEGAL DESCRIPTION:

STREET ADDRESS

FLOOD STATEMENT:  
ACCORDING TO THE FLOOD INSURANCE RATE MAPS FOR PITKIN COUNTY AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY THE SUBJECT PROPERTY DEPICTED HEREON IS NOT DESIGNATED TO LIE WITHIN THE LIMITS OF THE 100 YEAR FLOOD PLAIN AS SHOWN ON COMMUNITY PANEL NO. 08097 C0204 C, EFFECTIVE DATE JUNE, 4, 1987.

**SurvCo, Inc.**  
**RTK GPS and Conventional Land Surveying Services**  
826-1/2 Grand Avenue  
Post Office Box 2782  
Glenwood Springs, CO. 81602-2782  
Phone: (970) 945-5945 Cell: (970) 379-7399  
Email: survco@gmail.com

Date:

NO. BY DATE REVISION DESCRIPTION